

PLANNING & ZONING MEETING

Via Zoom

ASHLAND, MO 65010

TUESDAY AUGUST 10, 2021

<https://us02web.zoom.us/j/81392692099?pwd=V21LM0IYRDlrNHUvcSsrcUIXR29DQT09>

AGENDA

Call the Regular Meeting to Order at 7:00 PM via Zoom.

Approval of the Agenda for August 10, 2021.

Approval of the Previous Minutes of July 13, 2021.

Public Comments:

Ed Musterman

Alan Bunch

Old Business:

1. Lakeside Development Site Plan

New Business:

1. East Ashland Plaza Lot # 4- Diesel Pumps

Discussion

Mayor's Report

Alderman Liaison's Report

City Administrator's Report

Building Inspector's Report

Commissioner's Report

If you are unable to attend, please call Ashland City Hall at 573-657-2091 or e-mail adminassistant2@ashlandmo.us

Leslie Martin

Administrative Assistant

Posted August 6, 2021@ 10:00 a.m.

PLANNING AND ZONING MEETING
ASHLAND, MO. 65010
TUESDAY, JULY 13, 2021
DRAFT NOT APPROVED BY BOARD

1. Public Hearing:

Chairman Sapp called the public hearing to order July 13, 2021 at 6:30 p.m. at 101 W. Broadway Ashland, Missouri. Commissioners in attendance were Jerrod Bryan (via zoom), Cory Berghold, Cynthia Wills, Ken Bishop, Jeff Sapp (via zoom), Nicki Rinehart (via zoom). Chairman Sapp excused himself at 6:45 p.m. Vice Chairman Bryan presided the meeting. Commissioners absent: Tanner Kruger, Scott Dooley

Middle Creek:

Calvin Crandall- 607 Caspian Circle stated this property as it is purposed is too dense for the area. Calvin discussed with the Board the infrastructure problems that would occur. Mr. Crandall then discussed with the Board the current storm water runoff. He stated he is concerned with the way of getting in and out of this subdivision as well and the traffic issues currently and that will occur. He also stated brought to the Board he feels the houses don't match up to with the existing house. Mr. Crandall presented a video of storm water issues.

Ron Richards- 609 Caspian Circle stated he is concerned about the saturated ground and the running water running behind his property. He stated it does not drain properly and he also talked to the Board about his concern with erosion of property. Mr. Richards also stated he is concerned about house sizes to hurt the value of his home.

Sandra Richards- 609 Caspian Circle asked the P&Z Board to do a traffic and water study and see how it is going to affect the current home owners. She also suggested to fix flowing issues first before moving onto something else.

Dave Straatmann- 608 Billy Joe Sapp stated he had concerns about the safety for children. He also stated his concerns with the density and detention ponds in the area.

Chris Cravens-509 Caspian Circle told the Board about his concerns claiming the area doesn't have run off properly now and with additional houses all the water is going to run off even worse. He stated his concerns with back up issues that are currently happening and that will have in the future. Mr. Cravens stated he would like to see a dirt work and drainage plan moving forward.

Lisa Crandall- 607 Caspian Circle stated her concern with the current sewer issues and what will happen if this is developed.

Travis Lasater- 605 Caspian Circle stated his concern with the lift pump to reduce sewer issues. Lasater stated he is concerned about the safety issues. He also asked the Board who would be responsible for these issues if/when they arise?

Lakeside Development:

Conditional Use for Summer theater or outdoor music amphitheater:

Mike Bauer-Fire Marshal performed the plan review egress for the subdivision. Mr. Bauer stated for the additional development it will require two points of access. He also suggested possibly going to the South and connecting to Minor Hill. Bauer stated without the further development right now it meets consideration.

Alan Bunch- 5502 E. Log Providence stated his main problem is there is only one way in and out. He stated his concerns with the safety issues that come along with that. Mr. Bunch stated he is concerned about traffic back up issues. He also stated he doesn't feel like the board has enough information to move forward with this plan.

Claude Nikula- 5000 E Eagle Ridge Rd. stated his concern is the overflow in the parking lot and where the overflow will go. Mr. Nikula asked the Board who is going to enforce the no parking due to emergency on the main road? Nikula stated the roundabout is in rough shape who is going to fix before it gets worse with this new development. He also stated he also has noise concerns.

Dave Finley- 4737 Woodson Harris stated that all the Log Providence Residents have no rights to what is going to happen because they do not live in the city limits.

Ed Musterman-5251 E. Woodson Harris Rd. stated his concern about public safety. Mr. Musterman stated he feels they are trading profit for the safety of the families.

DeeCee Darrow- 10151 S. Bartel Ln. stated her concerns with the current road conditions.

Billy Keeling- 5030 E. Eagle Ridge Rd. stated he is waiting to hear from the developer of what his plans are and if they plan to make Log Providence better.

1. REGULAR MEETING:

Vice Chairman Bryan called the meeting to order July 13, 2021 at 7:20 p.m. at

101 W. Broadway Ashland, Missouri. Commissioners in attendance were Jerrod Bryan, Cory Bergthold, Cynthia Wills, Ken Bishop, Nicki Rinehart

Commissioners absent: Tanner Kruger, Scott Dooley, Jeff Sapp

City Staff Present: Lelande Rehard Asst. City Administrator, Leslie Martin Administrative Assistant, Carrie Fischer Administrative Assistant, Dan VandeVoorde Building Inspector, James Creel Public Works Supervisor, Rick Lewis Alderman Liaison, John Conway Civil Engineer

Guests: Corey Myers, Developer, Nic Parks, Lakeside Developer, Todd Kempker, Bartlett & West, Chris Sanders, McClure, Tim Crockett, Crockett Engineering, Zac Thomas, Engineering Surveys and Services

2. Approval of Agenda:

Vice Chairman Bryan called for a motion to approve the July 13 , 2021 agenda.

Commissioner Bergthold made a motion to approve the July 13, 2021 agenda, seconded by Commissioner Wills. Motion carried.

3. Approval of Previous Minutes:

Vice Chairman Bryan called for a motion to approve the previous minutes dated June 8, 2021.

Motion made by Commissioner Wills to approve the previous minutes as amended dated June 8, 2021, seconded by Commissioner Bishop. Motion carried.

4. Public Comments:

A. Alan Bunch- 5502 E. Log Providence stated he is unhappy about this project. He stated he feels the residents were not considered. He also stated that they don't know anything about the development and what is happening with it. Mr. Bunch stated this is a safety issue in many ways and he shared with the Board his concern of getting in and out of the development.

5. OLD BUSINESS:

A. Policy Manual- Commissioner Wills made the motion with changes that Commissioner Bergthold submitted to Lelande Rehard, Assistant City Administrator, seconded by Commissioner Bishop. Motion carried.

6. NEW BUSINESS:

A. Lakeside Development Conditional Use: Dan Vande Voorde, Building Inspector, gave the staff report. Nic Parks, developer, presented to the Board his plans for the development. Tim Crockett, Crockett Engineering, presented to the Board the plans and answered some of the questions he heard in the public hearing portion. Mr. Crockett touched base on the traffic and being controlled by having traffic control staff inside the Lakeside Development. Mr. Crockett stated that the design they have in place for the traffic flow will be getting vehicles in the development and have a route within the development to get the vehicles off the roadways. He also stated traffic is a concern to the development as well and they are working with MODOT to get a traffic study to see what is best. Mr. Crockett stated all sales for tickets will be either presold or bought online so the traffic flow should flow smoothly. Commissioner Bergthold asked if there is anything tying the developer to the hours and ticket sales stated in our current code. Dan Vande Voorde, Building Inspector, reported that is up the Board to decide based on certain uses. Commissioner Bryan asked who then would govern that? Dan stated that would be City Law Enforcement. Commissioner Rinehart asked if the swim park and splash area would need another conditional use or if it would fall under the current one. Dan reported it is conditional use for the site so both uses would fall under the same permit. Commissioner Bergthold asked about noise ordinance in our code. Dan reported there is no number currently in our code that states noise can't go over a certain decibel. Dan stated after doing research the decibel from the stage will reduce because of distance before it gets to the neighborhood. Commissioner Wills asked the developer about private and public events. Nic Parks, developer, stated they don't know the demand right now but plans to use Fridays as movie nights and Saturdays as concert

nights. Commissioner Wills asked the developer if he would be open to adjusting hours during the week. Nic Parks stated he would not see a problem with doing that. The Board asked the developer about the splash area and what the intentions for it would be. Nic Parks stated the splash area will only be available to those that are already in attendance at an event within Lakeside and that it will not be open to public. Commissioner Wills asked when will traffic study be done? Tim Crockett, Crockett Engineering, stated he looks for it to be done within the next couple of weeks. Mr. Crockett stated he will then submit it to the City and it will become a public document. Commissioner Bergthold asked if there should be a decibel limit. Nic Parks, developer, suggested looking into other cities that have codes of the decibel and what the levels are. Motion was made by Commissioner Bergthold with the hours limited to 12pm on the weekends and 10pm on week nights and online/presold tickets to approve, seconded by Commissioner Wills. Vice Chairman Bryan did a roll call vote: Commissioner Bergthold-yes, Commissioner Wills-yes, Commissioner Bishop-no, Commissioner Rinehart-yes, Commissioner Baker-yes. Motion carried.

B. Lakeside Development Site Plan: Dan Vande Voorde, Building Inspector, gave the staff report Motion was made by Commissioner Bergthold to table seconded by Commissioner Bishop. Vice Chairman Bryan did a roll call vote: Commissioner Baker-yes, Commissioner Rinehart-yes, Commissioner Bishop-yes, Commissioner Bergthold-yes, Commissioner Wills- yes. Motion carried.

C. Liberty Landind North Plat 2: Dan Vande Voorde, Building Inspector, gave the staff report. Motion was made by Commissioner Bergthold to approve seconded by Commissioner Wills. Vice Chairman Bryan did a roll call vote: Commissioner Bergthold-yes, Commissioner Wills-yes, Commissioner Bishop-yes, Commissioner Rinehart-yes, Commissioner Baker- yes. Motion carried.

D. Liberty Landing North Plat 3: Dan Vande Voorde, Building Inspector, gave the staff report Motion was made by Commissioner Bishop to approve seconded by Commissioner Bergthold. Vice Chairman Bryan did a roll call: Commissioner Baker-yes, Commissioner Rinehart-yes, Commissioner Bishop-yes, Commissioner Wills-yes, Commissioner Bergthold-yes. Motion carried.

E. Liberty Landing North Plat 4: Dan Vande Voorde, Building Inspector, gave the staff report Motion was made by Commissioner Bergthold to approve seconded by Commissioner Wills. Vice Chairman Bryan did a roll call vote: Commissioner Bishop-yes, Commissioner Bergthold-yes, Commissioner Wills-yes, Commissioner Baker-yes , Commissioner Rinehart-yes. Motion carried.

F. Liberty Landing North Plat 5: Dan Vande Voorde, Building Inspector, gave the staff report Motion was made by Commissioner Bergthold to approve seconded by Commissioner Wills. Vice Chairman Bryan did a roll call vote: Commissioner Wills-yes, Commissioner Bishop-yes, Commissioner Rinehart-yes, Commissioner Bergthold-yes, Commissioner Baker-yes. Motion carried.

G. Liberty Landing North Plat 6: Dan Vande Voorde, Building Inspector, gave the staff report Motion was made by Commissioner Wills to approve seconded by Commissioner Bergthold. Vice Chairman Bryan did a roll call vote: Commissioner Rinehart-yes, Commissioner Baker-yes, Commissioner Bishop-yes, Commissioner Bergthold-yes, Commissioner Wills-yes. Motion carried.

H. Liberty Landing North Preliminary Plat 2: Dan Vande Voorde, Building Inspector, gave the staff report. Chris Sanders, McClure Engineering, presented to the Board the proposed sidewalks and design plans for inlets. Commissioner Wills asked when will phase 2 begin? Chris Sanders stated it is likely down the road by a several years. Commissioner Bergthold asked if there will be control of the 184 lots. Dan Vande Voorde, Building Inspector, stated City Staff will monitor the amount of building permits that are pulled and will not let it exceed that total amount. Motion was made by Commissioner Wills to approve seconded by Commissioner Bishop. Vice Chairman Bryan did a roll call vote: Commissioner Rinehart-yes, Commissioner Baker- yes, Commissioner Bergthold-yes, Commissioner Bishop-yes, Commissioner Wills-yes. Motion carried.

Commissioner Bergthold recused himself due to working for Engineering Surveys and Services for Middle Creek Subdivision.

I. Middle Creek Rezoning (County) A-2 to R-1: Lelande Rehard, Assistant City Administrator, gave the staff report. Zac Thomas, Engineering Surveys and Services, gave a report on the overall plat and the plans of the improvements that will be addressed. Motion was made by Commissioner Wills to approve seconded by Commissioner Baker. Vice Chairman Bryan did a roll call vote: Commissioner Rinehart-yes, Commissioner Baker-yes, Commissioner Bishop-yes, Commissioner Wills-yes, Commissioner Bryan- yes. Motion carried.

J. Middle Creek Rezoning (County) A-2 to R-2: Dan Vande Voorde, Building Inspector, gave the staff report. Vice Chairman Bryan had questions about the parking. Dan Vande Voorde, Building Inspector, reported code requires at least 2 parking spaces per resident with the garage being one and driveway would be the second. Motion was made by Commissioner Wills to approve seconded by Commissioner Rinehart. Vice Chairman Bryan did a roll call vote: Commissioner Wills-yes, Commissioner Bishop-yes, Commissioner Rinehart-yes, Commissioner Baker-yes, Commissioner Bryan-yes. Motion carried.

K. Middle Creek Rezoning (County) A-2 to C-N: Dan Vande Voorde, Building Inspector, gave the staff report. No motion was made. Motions dies for lack of interest.

L. Middle Creek Preliminary Plat: Dan Vande Voorde, Building Inspector, gave the staff report. Commissioner Rinehart questioned why there wasn't a traffic study for this development. Lelande Rehard, Assistant City Administrator, stated per code it is not required and it is up to the City Administrator to determine if it is needed. Lelande Rehard stated the City is looking more into the sewer issue. Vice Chairman Bryan questioned why there wouldn't be a traffic study with the high traffic in that area. Motion was made by Commissioner Wills to approve seconded by Commissioner Bishop. Vice Chairman Bryan did a roll call vote: Commissioner Wills-yes, Commissioner Bishop-yes, Commissioner Rinehart-no, Commissioner Baker-yes, Commissioner Bryan-no. Motion carried.

M. Ashland Place Plat 1: Dan Vande Voorde, Building Inspector, gave the staff report. Commissioner Bergthold requested to the engineer the plat be updated in the vaction of Maple Street. Motion was made by Commissioner Bergthold to approve seconded by Commissioner Baker. All in favor. Motion carried.

N. River Region Credit Union Site Plan: Dan Vande Voorde, Building Inspector, gave the staff report. The Board and Tim Crockett, site engineer, discussed having a detention basin or not for this site. Motion was made by Commissioner Wills to approve provided that the detention

requirements are met for impervious surface as designed seconded by Commissioner Bishop. Both withdraw motions. Commissioner Bergthold made a motion to approve the site plan provided it meets the requirement of Chapter 12 seconded by Commissioner Rinehart. Vice Chairman Bryan did a roll call vote: Commissioner Baker-yes, Commissioner Rinehart-yes, Commissioner Bishop-yes, Commissioner Bergthold-yes, Commissioner Wills-yes. Motion carried.

O. Commissioner Contact Information- Lelande Rehard, Assistant City Administrator, stated all contact information has been removed from the website.

7. DISCUSSION:

None

8. Mayor's Report:

No Report

9. City Administrator's Report:

Lelande Rehard, Assistant City Administrator, reported he plans to work with Lakeside Development to get all issues addressed.

10. Building Department's Report:

Dan Vande Voorde, Building Inspector, reported there has been a plan submitted from Breaktime for additional pumps.

11. Alderman Liaison's Report:

No report

12. Commissioners' Report:

Commissioner Bryan- No Report

Commissioner Bergthold- Bergthold asked about personal emails being on the website. Lelande Rehard, Assistant City Administrator, stated all personal information has been taken off the website and will go through City Hall, then passed to the Board.

Commissioner Wills- No Report

Commissioner Bishop- No Report

Commissioner Sapp- Absent

Commissioner Dooley- Absent

Commissioner Rinehart- No Report

Commissioner Baker- Baker had questions about the trainings and when they would happen. Lelande Rehard, Assistant City Administrator, stated as soon the trainings are all lined out the Board will be updated.

Commissioner Kruger- Absent

Vice Chairman Bryan called for a motion to adjourn the July 13, 2021, Planning and Zoning Meeting. Commissioner Bergthold made a motion to adjourn the July 13, 2021, Planning and Zoning Meeting seconded by Commissioner Wills. Motion carried. Meeting adjourned at 9:41pm.

Minutes prepared by Leslie Martin



Community Development

Land Use Staff Report

DATE: July 13th, 2021
TO: Planning & Zoning Commission
FROM: Dan VandeVoorde, Community Development
SUBJECT: Lakeside Development Site Plan

The purpose of this report is to provide you with information regarding a request for a commercial Site Plan approval from the Planning & Zoning Commission. The submitting engineering firm is Crocket Engineering with Allstate Consultants as the reviewing firm.

GENERAL INFORMATION

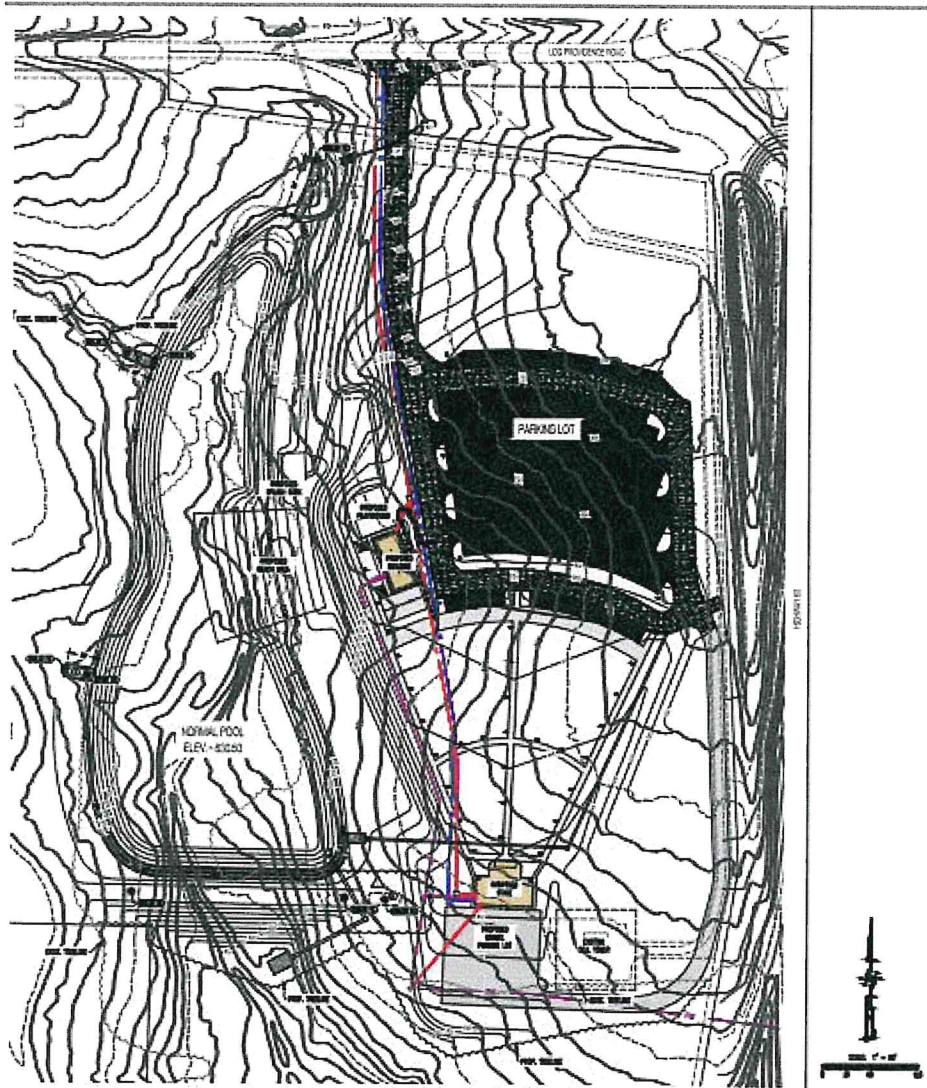
Parcel Information. 5900 E Log Providence Rd.

Parcel Size / Physical Characteristics. The subject property is approximately 35 acres in size with approximately 20 acres being developed in the first phase. First phase will contain a stage, movie screen, parking lot, concession stand, small lake with beach/splash area and playground.

Zoning Classification. C-G (General Commercial)

LOCATION MAP





SITE PLAN

ANALYSIS

This Site Plan is for an outdoor movie and concert venue with a proposed concession stand along with a play area for children. There will be a small splash area with a beach on a manmade lake.

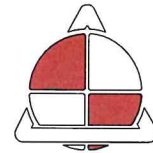
Expected days of operation would be Friday and Saturdays with expansion as the land gets further development. This would be first phase of a larger outdoor entertainment facility to be decided.

The parking lot consists of approximately 200 parking spaces along with 8 larger spaces for the food trucks as needed. Storm water detention is placed on site with all calculations review and approved by the reviewing firm. Sanitary sewer is shown and calculated on the submitted plan but will be installed at later date. The proposed plan will call for the sewer line to be bored under Highway 63 to tie into the lift station located at the Cartwright Development.

CITY STAFF OPINION

After careful consideration of the requested variance submittal staff recommends approval of submitted Site Plan for construction as it was reviewed by a third party engineering firm and has met City Code.

Engineering Our Community



**ALLSTATE
CONSULTANTS**

June 2, 2021

Mr. Tim Crockett, PE
Crockett Engineering Consultants
1000 W. Nifong Blvd., Bldg. 1
Columbia, MO 65203

RE: Site Plan Comments
Lakeside Development – Ashland, MO

Dear Mr. Crockett:

Allstate Consultants has completed a review of the Site Plan and associated documents (dated June 2, 2021) for the aforementioned project with the following result:

(X) Approved for consideration by the Planning and Zoning Commission

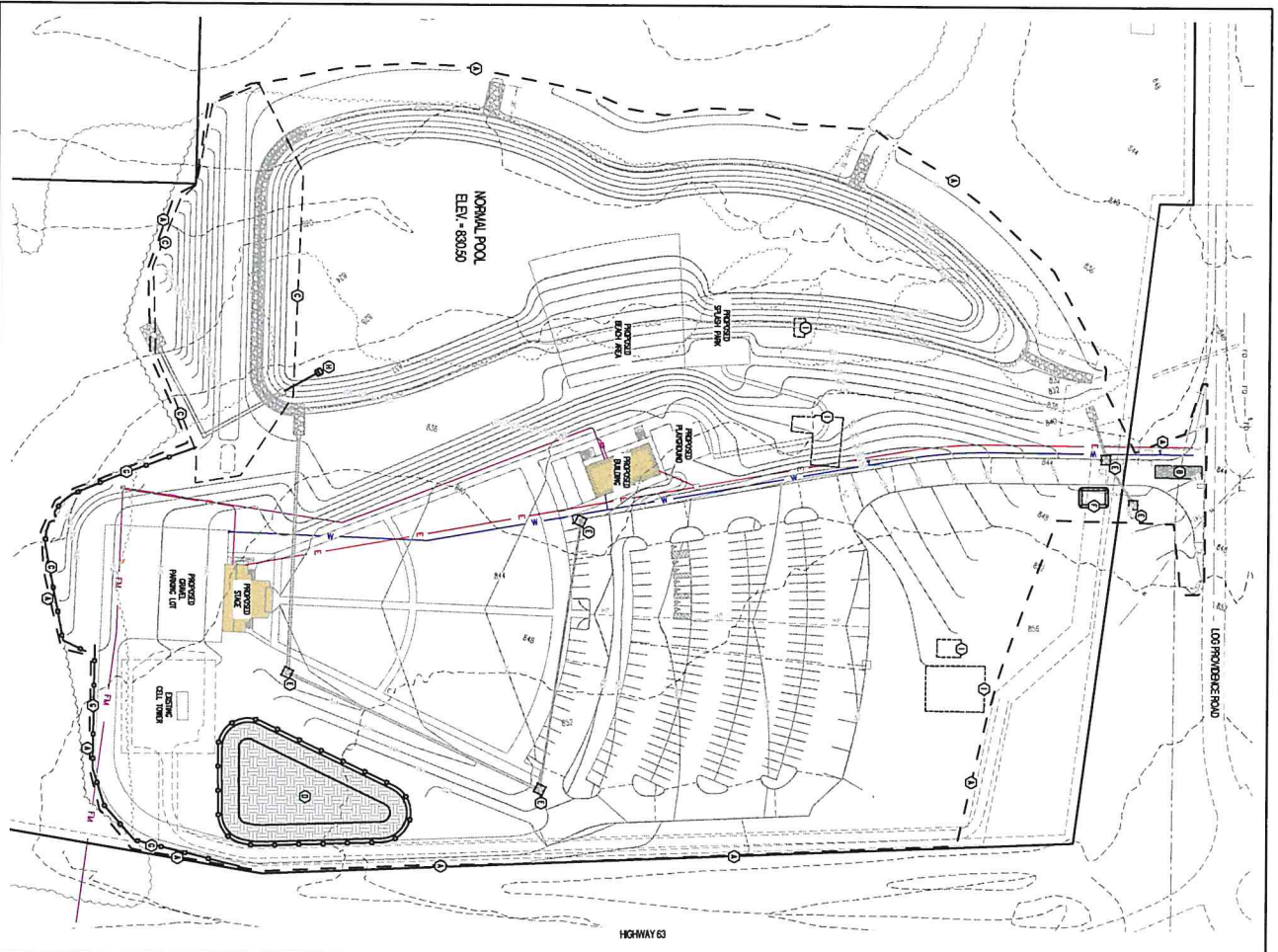
() NOT approved for consideration by the Planning and Zoning Commission

All comments have been addressed. Per previous comments, deferred submittals (including sanitary sewer service and signage) must be submitted to and approved by the City of Ashland. The requested variances and conditional use will be forwarded for consideration by the Board of Aldermen. Please contact the City of Ashland with any questions related to the scheduling of consideration by the Planning and Zoning Commission and Board of Aldermen.

Sincerely,
Allstate Consultants LLC

A handwritten signature in black ink that reads "Wesley Bolton". The signature is fluid and cursive, with a long horizontal stroke at the end.

Wes Bolton, PE, ACTAR

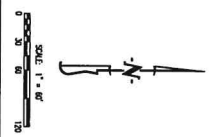


HIGHWAY 63

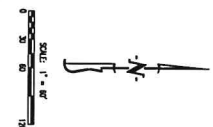
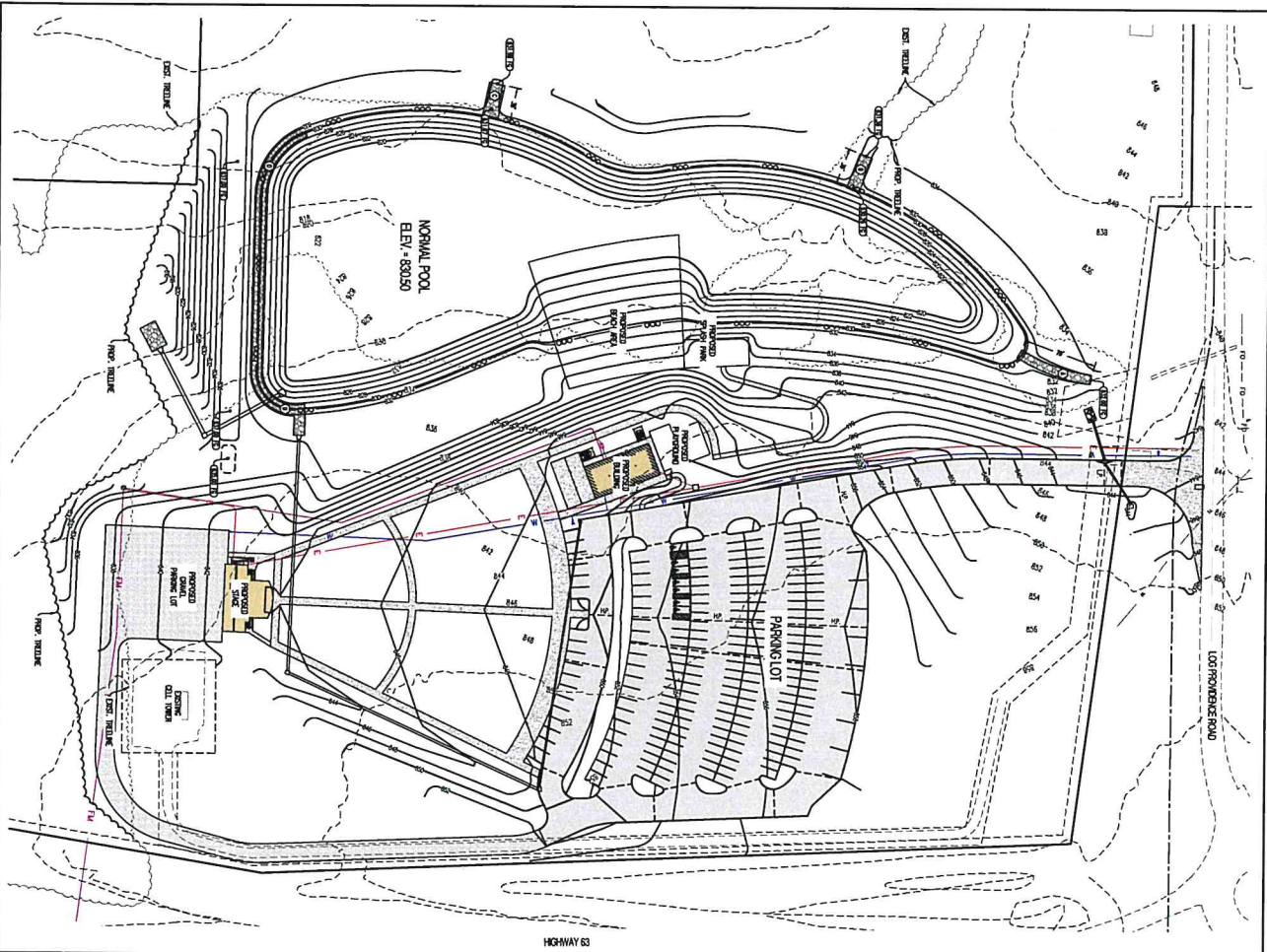
LOTHROP AVENUE ROAD

NORMAL POOL
ELEV - 833.50

- LEGEND OF LABELS**
- ① LIMITS OF JURISDICTION
 - ② MINIMUM 7' PROTECTIVE STRIP FOR CONCERNED PART OF SHEDS + 17'8" MIN. ALL CONSTRUCTION STRIPES SHALL LEAVE THE SETBACK AND DRIVE
 - ③ LIMIT 2' MINIMUM TO BE MAINTAINED FROM TO ANY OTHER LANDS ADJOINING LOT
 - ④ TOP OF SIDEWALK
 - ⑤ PROTECTIVE STRIPES MAINTAIN 1' MINIMUM TO DRIVE
 - ⑥ 4" MIN. CONCRETED SIDEWALK PAVEMENT
 - ⑦ 3" MIN. CONCRETED SIDEWALK PAVEMENT
 - ⑧ 2" MIN. CONCRETED SIDEWALK PAVEMENT
 - ⑨ 1" MIN. CONCRETED SIDEWALK PAVEMENT
 - ⑩ MINIMUM 4" PROTECTIVE STRIPES FOR CONCERNED PART OF SHEDS + 17'8" MIN. ALL CONSTRUCTION STRIPES SHALL LEAVE THE SETBACK AND DRIVE
 - ⑪ MINIMUM 4" PROTECTIVE STRIPES FOR CONCERNED PART OF SHEDS + 17'8" MIN. ALL CONSTRUCTION STRIPES SHALL LEAVE THE SETBACK AND DRIVE
 - ⑫ MINIMUM 4" PROTECTIVE STRIPES FOR CONCERNED PART OF SHEDS + 17'8" MIN. ALL CONSTRUCTION STRIPES SHALL LEAVE THE SETBACK AND DRIVE
 - ⑬ MINIMUM 4" PROTECTIVE STRIPES FOR CONCERNED PART OF SHEDS + 17'8" MIN. ALL CONSTRUCTION STRIPES SHALL LEAVE THE SETBACK AND DRIVE
 - ⑭ MINIMUM 4" PROTECTIVE STRIPES FOR CONCERNED PART OF SHEDS + 17'8" MIN. ALL CONSTRUCTION STRIPES SHALL LEAVE THE SETBACK AND DRIVE
 - ⑮ MINIMUM 4" PROTECTIVE STRIPES FOR CONCERNED PART OF SHEDS + 17'8" MIN. ALL CONSTRUCTION STRIPES SHALL LEAVE THE SETBACK AND DRIVE
- STONE WALLS**
- ① STONE WALL NOT EXCEED HEIGHT (A) LOWER THAN ON (B) (C) FEET IN HEIGHT
 - ② THE ONE SIDE OF A STONE WALL NOT EXCEED 4.5' IN HEIGHT
 - ③ STONE WALLS SHALL BE TYPICALLY SET IN ACCORDANCE WITH THE DESIGN AND STANDARD CONTROL MANUAL ISSUED BY THE DIRECTOR. THE FINISH FACE OF THE STONE WALL SHALL BE SET IN ACCORDANCE WITH THE DESIGN AND STANDARD CONTROL MANUAL ISSUED BY THE DIRECTOR. THE FINISH FACE OF THE STONE WALL SHALL BE SET IN ACCORDANCE WITH THE DESIGN AND STANDARD CONTROL MANUAL ISSUED BY THE DIRECTOR. THE FINISH FACE OF THE STONE WALL SHALL BE SET IN ACCORDANCE WITH THE DESIGN AND STANDARD CONTROL MANUAL ISSUED BY THE DIRECTOR.



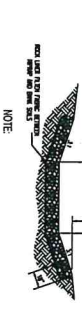
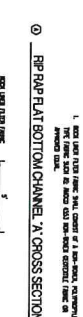
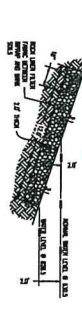
DRAWINGS INCLUDES:	<p>LAKESIDE DEVELOPMENT ASHLAND, BOONE COUNTY, MISSOURI</p>	OWNER:	<p>CROCKETT ENGINEERING CONSULTANTS 2000 S. SINGULAR RD. COLUMBIA, MO 65202</p> <p>PREPARED BY: Crockett Engineering Consultants, LLC Missouri Certified as Authority #000001061</p>		<p>PROJECT NO.: 200329</p> <p>SHEET: 021</p>
DESIGNED: MFE		OWNER: PARKS PROPERTIES LLC		NO. _____	DATE _____
DRAWN: JEE		8000 S. SINGULAR RD. COLUMBIA, MO 65202		SCALE _____	



NOTES

THE LOT DATA FROM CONTOUR SYSTEM FROM THIS PROJECT WILL BE IMPACTED BY CHANGING CLIMATIC PATTERNS AND SHOULD BE REVIEWED FOR THE PROJECT.

- LEGEND OF SYMBOLS**
- PROPOSED BOUNDARY
 - EXISTING BOUNDARY
 - PROPOSED MAIN CHANNEL
 - PROPOSED WATER CHANNEL
 - PROPOSED MAIN CHANNEL
 - PROPOSED FLOOR OF STRUCTURE
 - PROPOSED TOP OF CURB ELEVATION
 - PROPOSED TOP OF FINISHED ELEVATION
 - PROPOSED FINISH CHASE ELEVATION
 - PROPOSED FINISH FLOOR AT 1000'
 - PROPOSED FINISH FLOOR AT 10' OF WALL



LAKESIDE DEVELOPMENT
ASHLAND, BOONE COUNTY, MISSOURI

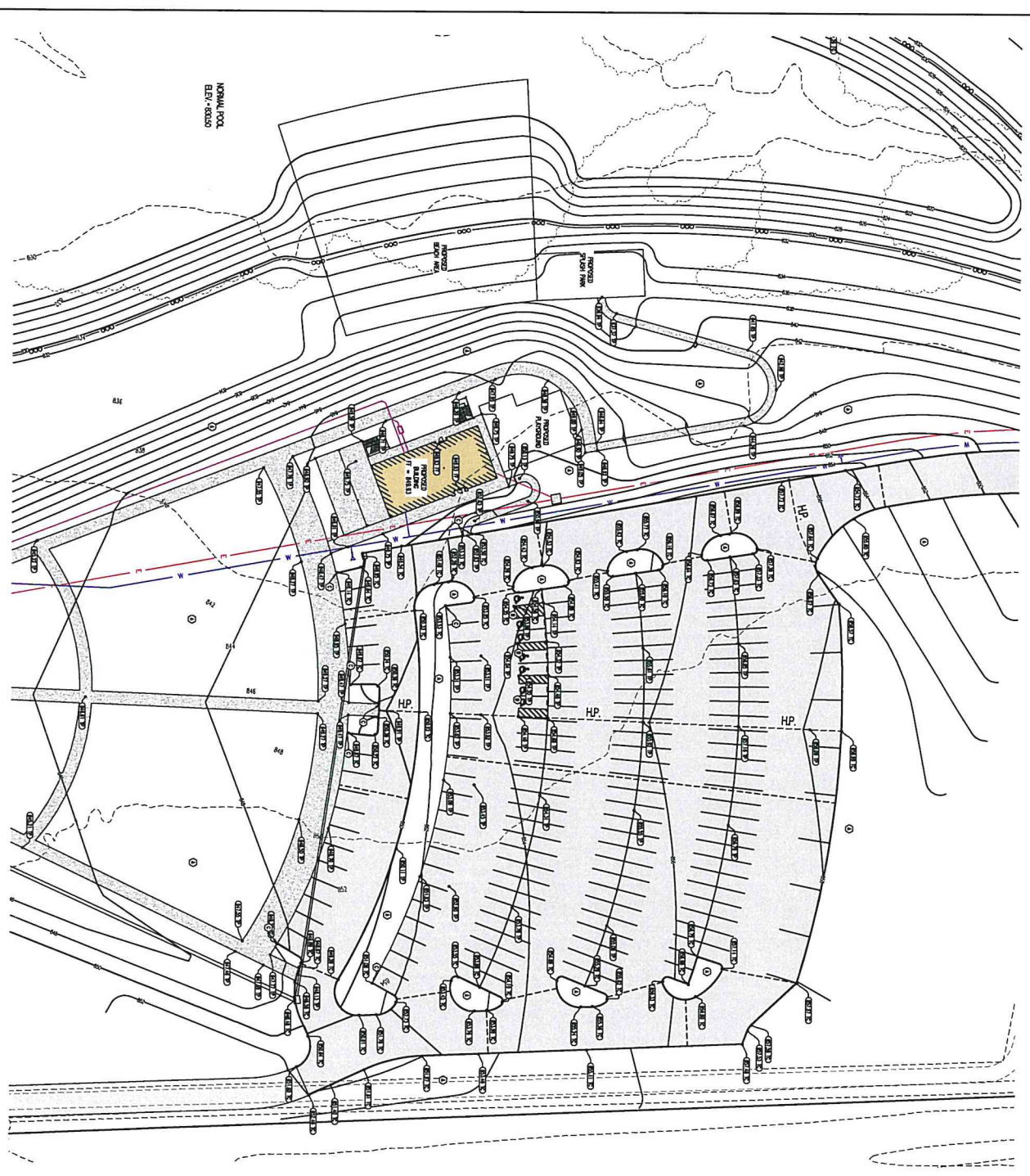
OWNER
PARKS PROPERTIES LLC
1000 S. SINKLER RD.
COLLAMA, MO 65202

PREPARED BY:
CROCKETT
ENGINEERING CONSULTANTS, LTD.
1000 W. WING DR., SUITE 100
COLUMBIA, MISSOURI 65202
www.crockettengineering.com
Crockett Engineering Consultants, LLC
Missouri: Certificate of Authority
#000000000

REGISTRAR
NO. 000000000
DATE 00/00/00
SHEET 00/00

DRAWING INCLUDES

DESIGNED	MTC
DRAWN	JE
PROJECT NO.	20000
SHEET	C-2

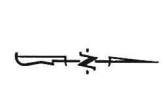


NORMAL POOL
 ELEV. 663.00

- LEGEND OF SYMBOLS**
- (Symbol) EXISTING LAWN CORNER
 - (Symbol) EXISTING ROAD CORNER
 - (Symbol) PROPOSED ROAD CORNER
 - (Symbol) PROPOSED WATER CORNER
 - (Symbol) PROPOSED LOTION OF STRUCTURE
 - (Symbol) PROPOSED TOP OF CORNER UTILITY
 - (Symbol) PROPOSED TOP OF MANHOLE UTILITY
 - (Symbol) PROPOSED TOP OF CURB UTILITY
 - (Symbol) PROPOSED FROM LINE OF DOOR
 - (Symbol) PROPOSED FROM CORNER OF WALL

LEGEND OF LABELS

- (Symbol) THE DATE OF SHEET IS PROTECTED AND SHALL BE MAINTAINED AS SHOWN.
- (Symbol) THIS SHEET IS A PART OF THE PROJECT AND SHALL BE MAINTAINED AS SHOWN.
- (Symbol) THIS SHEET IS A PART OF THE PROJECT AND SHALL BE MAINTAINED AS SHOWN.
- (Symbol) THIS SHEET IS A PART OF THE PROJECT AND SHALL BE MAINTAINED AS SHOWN.



NO.	DATE	REVISIONS

DESIGNED	ME
DRAWN	EE
PROJECT NO.	20030
SHEET	03

LAKESIDE DEVELOPMENT
 ASHLAND, BOONE COUNTY, MISSOURI

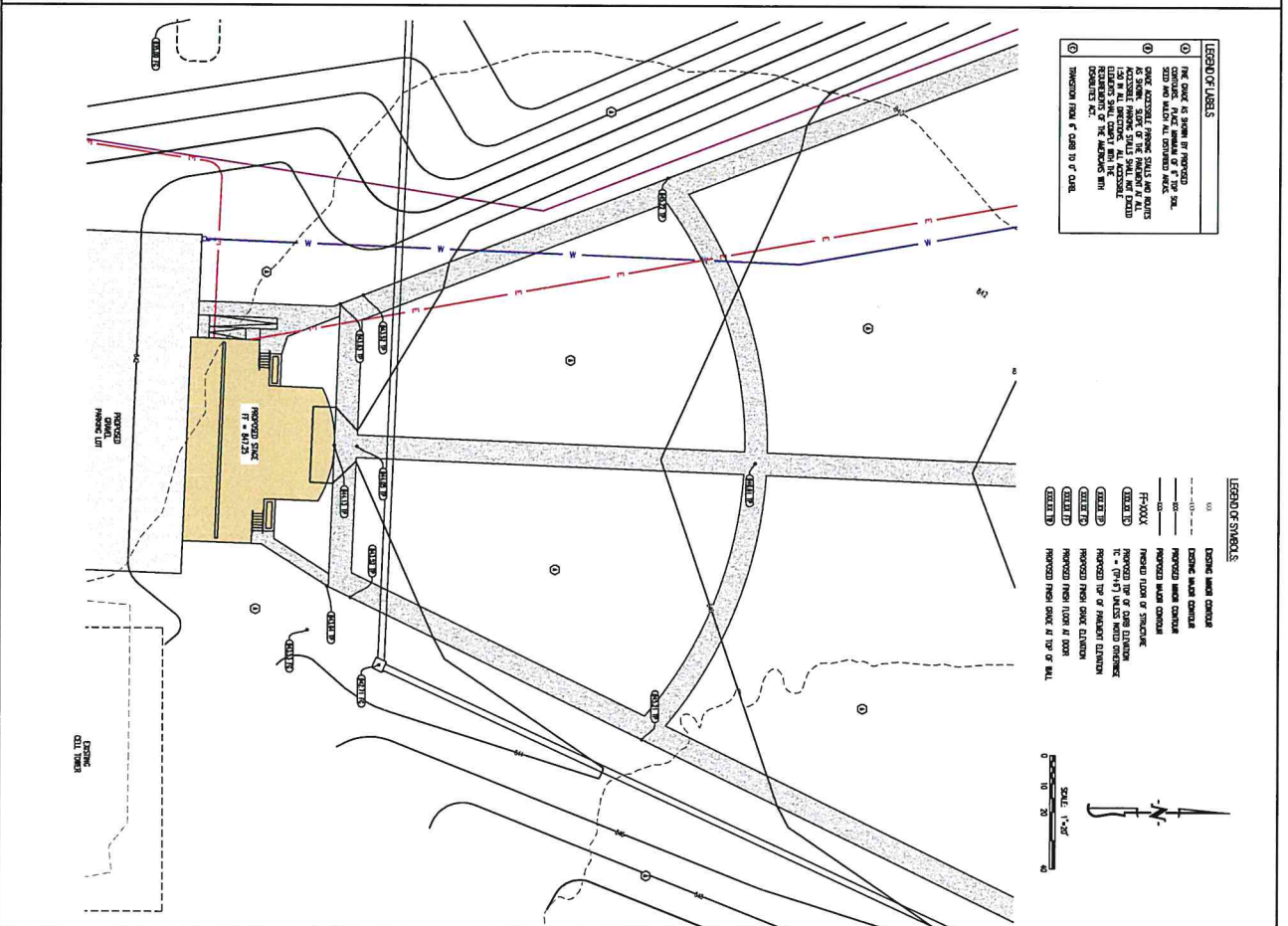
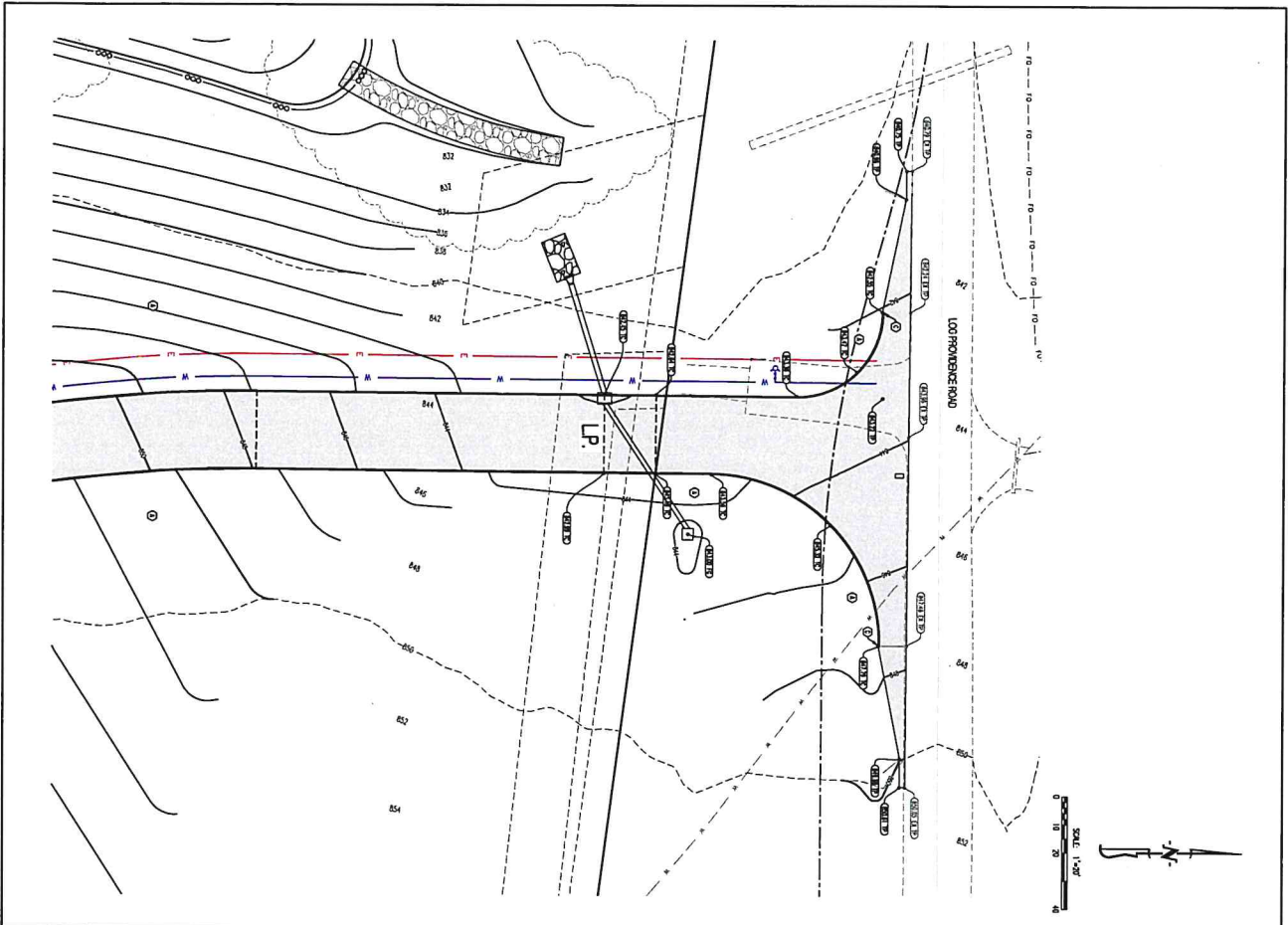
OWNER
 PARKS PROPERTIES LLC
 6005 S. SHILOAR RD.
 COLUMBIA, MO 65202

PREPARED BY:
CROCKETT
 ENGINEERING CONSULTANTS
 6005 W. WANG DR., SUITE 1
 COLUMBIA, MISSOURI 65202

Crockett Engineering Consultants, LLC
 Missouri Certificate of Authority
 4901833600



NO.	DATE	REVISIONS



LEGEND OF LABELS

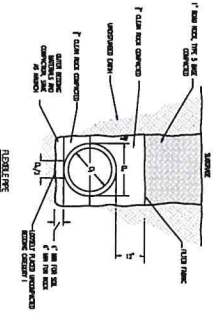
- ① THE CENTER OF GRAVITY OF PROPOSED CONCRETE PAVEMENT SHALL BE INDICATED BY A DOTTED LINE.
- ② DRIVE ACCESSIBLE PAVING SHALL BE INDICATED BY A DOTTED LINE WITH A CENTERLINE.
- ③ DRIVE ACCESSIBLE PAVING SHALL BE INDICATED BY A DOTTED LINE WITH A CENTERLINE AND A CENTERLINE WITH A CENTERLINE.
- ④ PROPOSED DRIVE SHALL BE INDICATED BY A DOTTED LINE WITH A CENTERLINE.
- ⑤ PROPOSED DRIVE SHALL BE INDICATED BY A DOTTED LINE WITH A CENTERLINE AND A CENTERLINE WITH A CENTERLINE.

LEGEND OF SYMBOLS

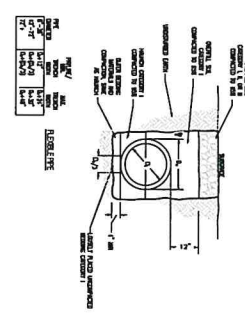
- EXISTING MAJOR CONDUIT
- PROPOSED MAJOR CONDUIT
- EXISTING MINOR CONDUIT
- PROPOSED MINOR CONDUIT
- EXISTING TYPICAL CURB ELEVATION
- PROPOSED TYPICAL CURB ELEVATION
- EXISTING TYPICAL PAVEMENT ELEVATION
- PROPOSED TYPICAL PAVEMENT ELEVATION
- EXISTING TYPICAL FINISH FLOOR AT DOOR
- PROPOSED TYPICAL FINISH FLOOR AT DOOR
- EXISTING TYPICAL FINISH FLOOR AT TOP OF WALL
- PROPOSED TYPICAL FINISH FLOOR AT TOP OF WALL

DESIGNED: MFE DRAWN: JEE PROJECT NO.: 20030 SHEET: CE 4	<h2 style="margin: 0;">LAKESIDE DEVELOPMENT</h2> <p style="margin: 0;">ASHLAND, BOONE COUNTY, MISSOURI</p>	OWNER: PARKS PROPERTIES LLC 8000 S. SHILOH RD. COLUMBIA, MO 65203	PREPARED BY: CROCKETT ENGINEERING CONSULTANTS 1000 N. BROADWAY, SUITE 100 COLUMBIA, MISSOURI 65203 (314) 441-0000 www.crocketting.com Missouri Professional Engineer License No. 0000000000	REVISIONS: <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 5%;">NO.</th> <th style="width: 15%;">DATE</th> <th style="width: 80%;">DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION			
NO.	DATE	DESCRIPTION								

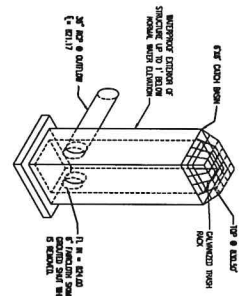
SCALE: 1/8" = 1'-0"
 1/4" = 1'-0"
 1/2" = 1'-0"
 3/4" = 1'-0"
 1" = 1'-0"



PIPE EMBEDMENT (UNDER PAVEMENT)

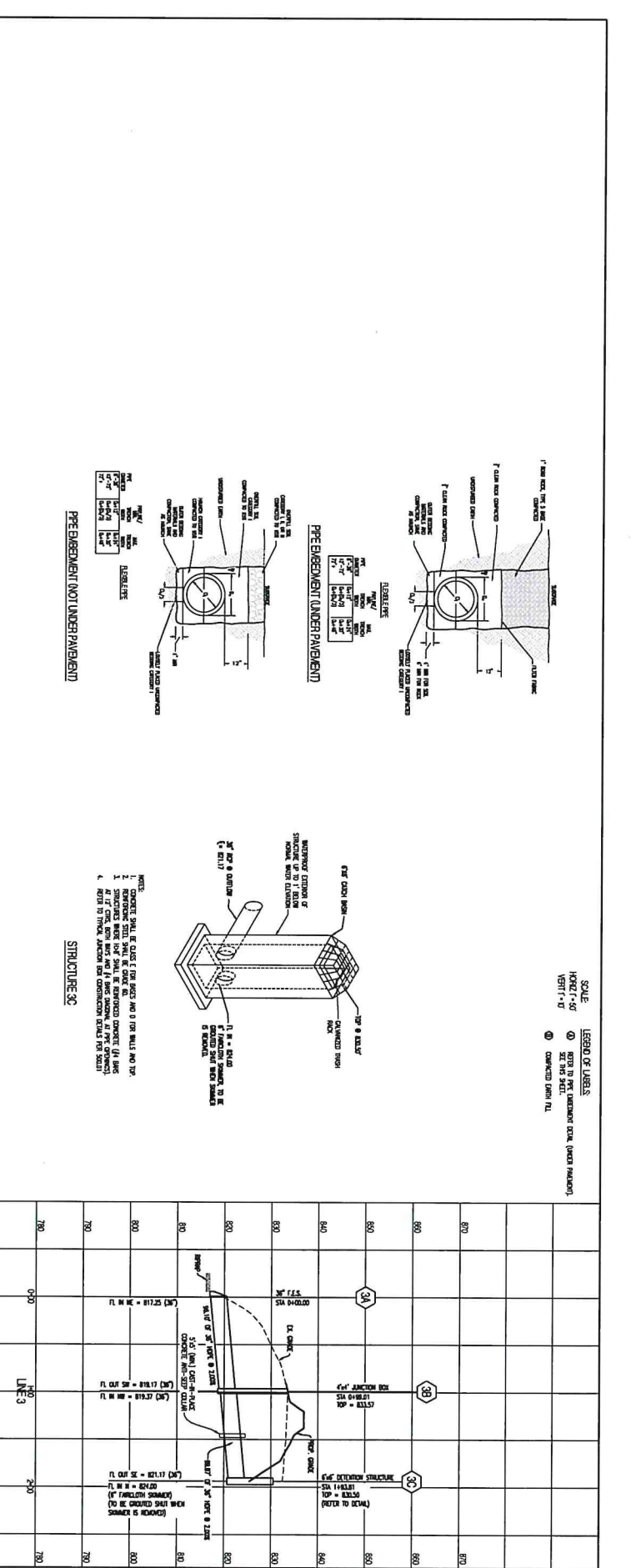
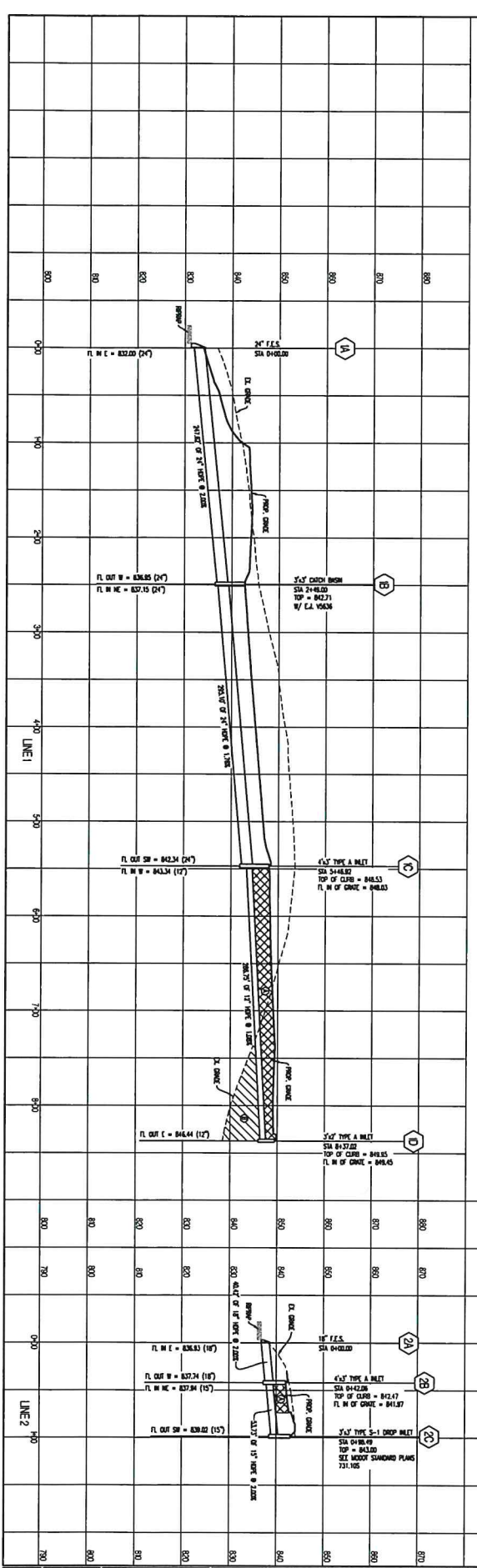


PIPE EMBEDMENT (NOT UNDER PAVEMENT)

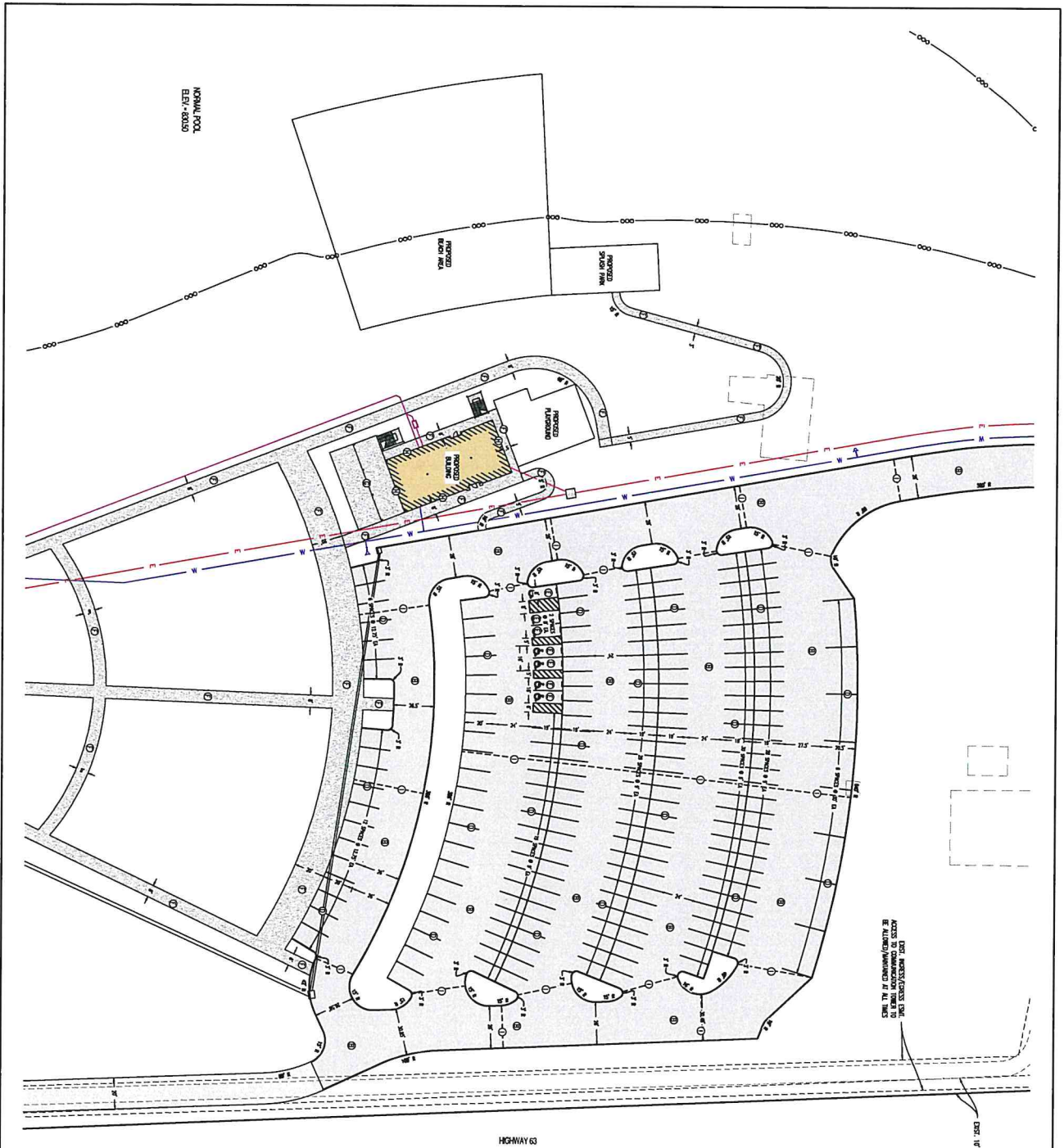


STRUCTURE 3C

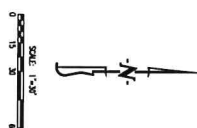
- NOTES:
- 1. CONCRETE SHALL BE CASTED FOR RIGID AND FOR BUILT AND TOP.
 - 2. STRUCTURES SHALL BE CASTED FOR RIGID AND TOP.
 - 3. STRUCTURES SHALL BE CASTED FOR RIGID AND TOP.
 - 4. REINFORCING SHALL BE CASTED FOR RIGID AND TOP.



PROJECT NO. 20039 SHEET: CE 6	DESIGNED: NIE DRAWN: JEE	DRAWING NOTES: STORM PROFILE LINES 1-3 DETAILS	LAKESIDE DEVELOPMENT MASS GRADING ASHLAND, BOONE COUNTY, MISSOURI	OWNER: PARKS PROPERTIES LLC 800 S SHOLAR FEL COLUMBIA, MO 65202	PREPARED BY: CROCKETT ENGINEERING CONSULTANTS 808 S. WILSON BLVD. COLUMBIA, MISSOURI 65202 658-447-4000 www.crocketting.com	
				PROJECT NO. 20039 SHEET: CE 6	DATE: 10/20/2010 NO. 20039	PROJECT NO. 20039 SHEET: CE 6



EXIST. PROPERTY/CONCRETE DRIVE ACCESS TO COMMUNICATION TOWER TO BE EXISTING/REMOVED AT THE TIME OF CONSTRUCTION

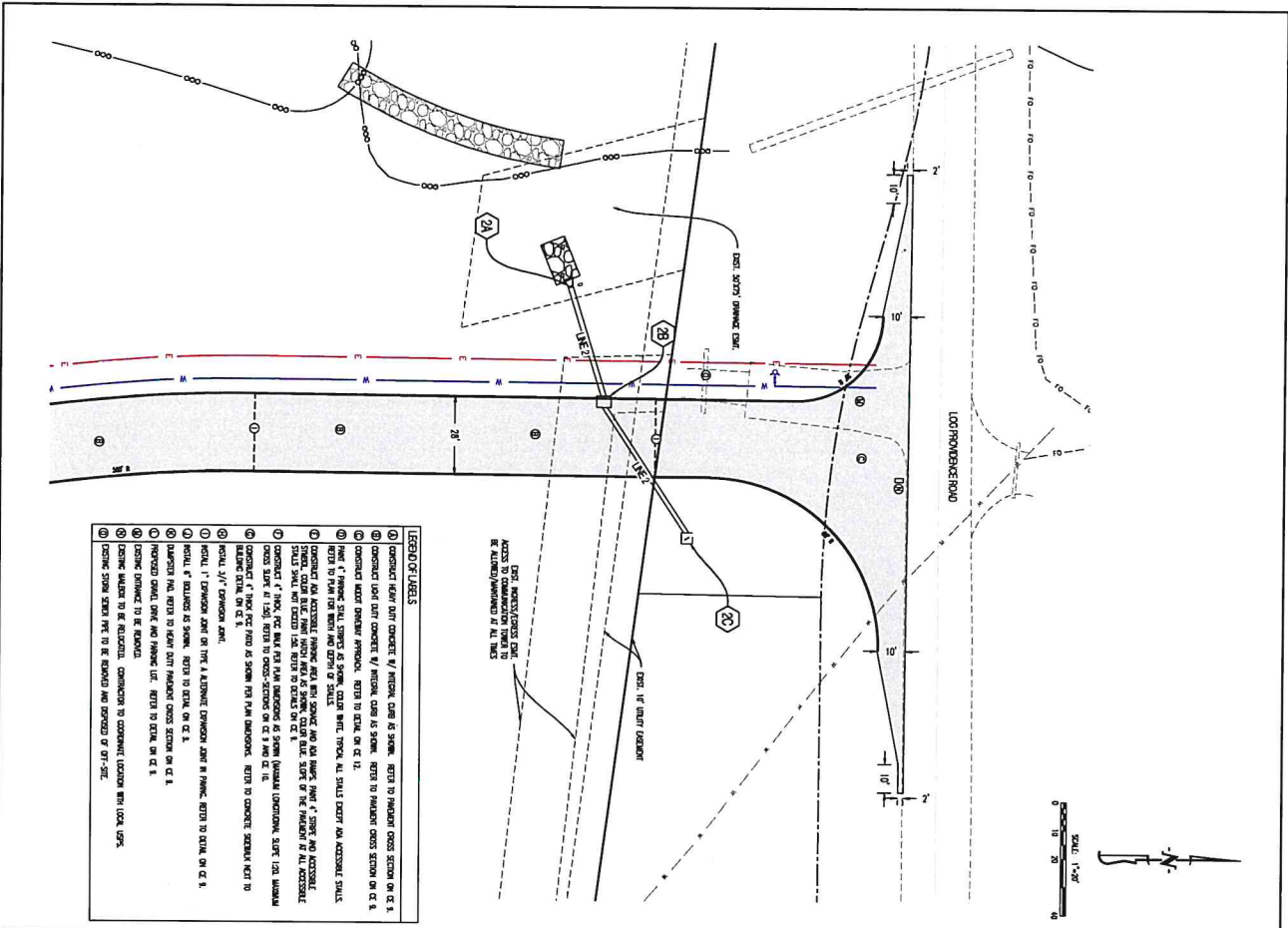


- LEGEND OF LINES:**
- ① CONSTRUCT NEW DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ② CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ③ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ④ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ⑤ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ⑥ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ⑦ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ⑧ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ⑨ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ⑩ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ⑪ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ⑫ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ⑬ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ⑭ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ⑮ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ⑯ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ⑰ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ⑱ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ⑲ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ⑳ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㉑ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㉒ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㉓ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㉔ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㉕ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㉖ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㉗ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㉘ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㉙ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㉚ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㉛ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㉜ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㉝ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㉞ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㉟ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㊱ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㊲ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㊳ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㊴ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㊵ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㊶ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㊷ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㊸ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㊹ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㊺ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㊻ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㊼ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㊽ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㊾ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.
 - ㊿ CONSTRUCT EXISTING DRIVE AND CONCRETE W/ ASPHALT DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 1.

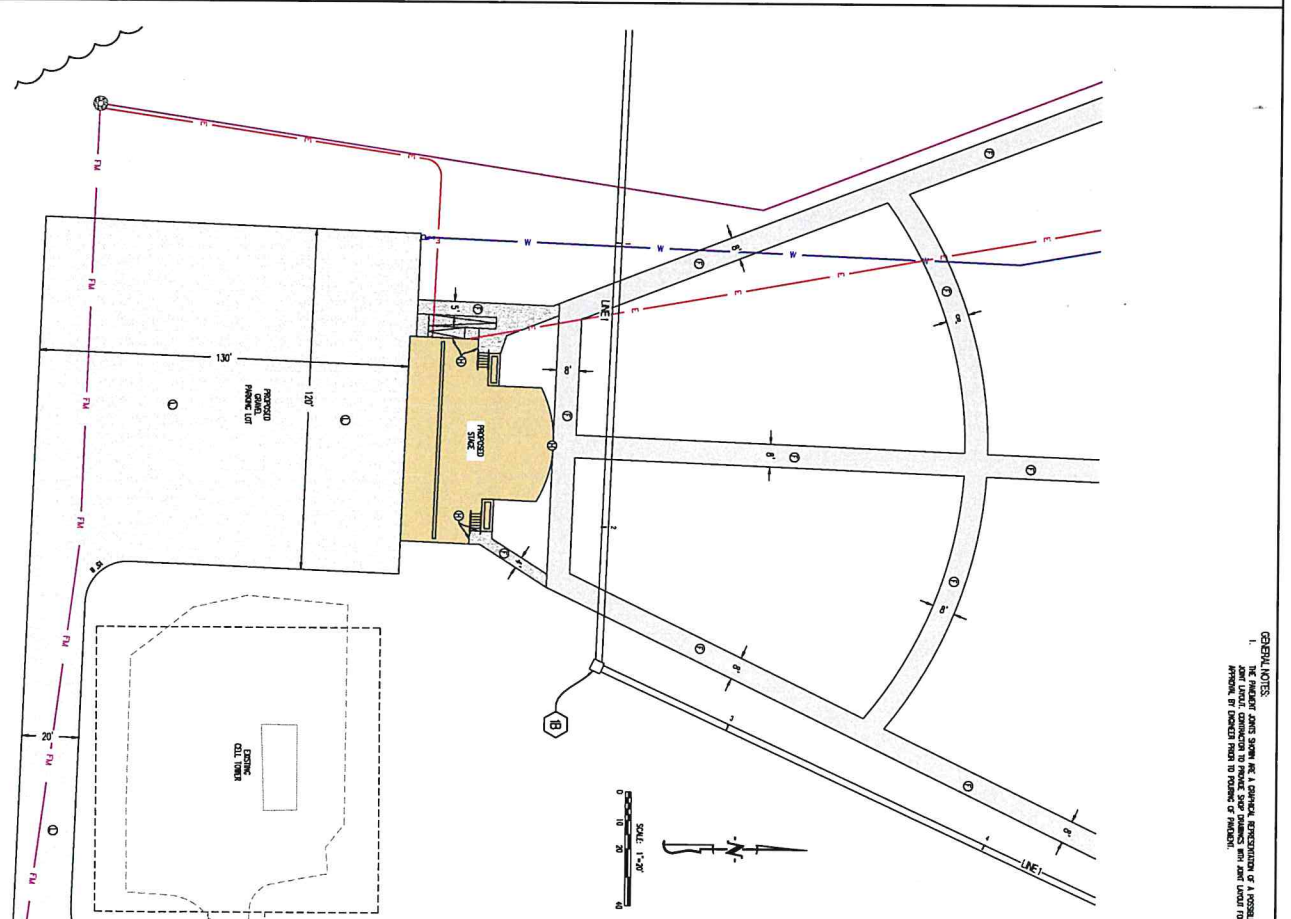
GENERAL NOTES:

- THE PROPOSED DRIVEWAY SHALL BE A CONCRETE DRIVEWAY WITH A 4" THICK ASPHALT SURFACE AND A 4" THICK CONCRETE CURB AND GUTTER. REFER TO PAVEMENT CROSS SECTION ON CE 1 FOR DETAILS.

DESIGNED: NRE DRAWN: JEE PROJECT NO: 20039 SHEET: CE-7	DRAWING NOTES: SHEET PLAN SHEET OF 2	LAKESIDE DEVELOPMENT ASHLAND, BOONE COUNTY, MISSOURI	OWNER: PARKS PROPERTIES LLC 800 S SHILOH RD COLEMAN MO 65202	PREPARED BY: CROCKETT ENGINEERING CONSULTANTS 1000 N. HIGHWAY 63, SUITE 100 COLLETON, MISSOURI 65016 650-441-0000 www.crockettengineering.com Crockett Engineering Consultants, LLC Missouri Engineering License No. 000000000	REGISTERED PROFESSIONAL ENGINEER STATE OF MISSOURI LICENSE NO. 000000000 EXPIRES 12/31/2025	REVISIONS: NO. DATE 1. 01/15/2025
			PROJECT NO: 20039 SHEET: CE-7			



- LEGEND OF SYMBOLS**
- ① CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ② CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ③ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ④ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ⑤ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ⑥ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ⑦ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ⑧ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ⑨ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ⑩ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ⑪ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ⑫ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ⑬ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ⑭ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ⑮ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ⑯ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ⑰ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ⑱ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ⑲ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ⑳ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㉑ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㉒ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㉓ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㉔ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㉕ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㉖ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㉗ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㉘ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㉙ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㉚ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㉛ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㉜ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㉝ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㉞ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㉟ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㊱ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㊲ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㊳ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㊴ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㊵ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㊶ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㊷ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㊸ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㊹ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㊺ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㊻ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㊼ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㊽ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㊾ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - ㊿ CONSTRUCT NEW PAVEMENT ON DRIVE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.



GENERAL NOTES

- THE NUMBERED DIMENSIONS SHOW THE A DIMENSION. DIMENSIONS OF A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UU, UV, UW, UX, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ.

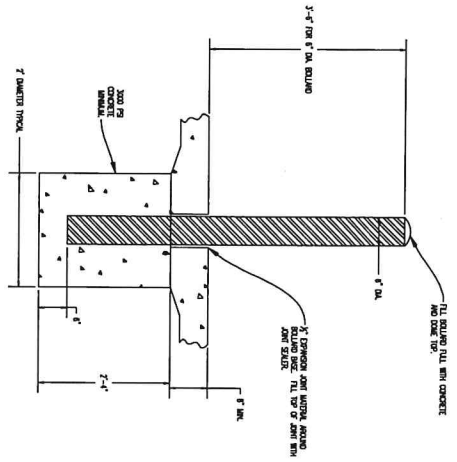
DESIGNED BY: NIE
DRAWN BY: JEE
PROJECT NO: 20339
SHEET: CE 8

DRAWING INCLUDES:
 STEPHAN
 SHEET 20F2

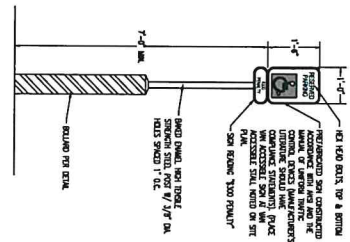
OWNER:
 PARKS PROPERTIES LLC
 6000 S. SINGULAR RD.
 COLUMBIA MO 65203

PREPARED BY:
CROCKETT
 ENGINEERING CONSULTANTS
 6000 S. SINGULAR RD., SUITE 100
 COLUMBIA, MISSOURI 65203
 (314) 444-2100
 www.crocketting.com
 Crockett Engineering Consultants, LLC
 Missouri Certificate of Authority
 000000000001

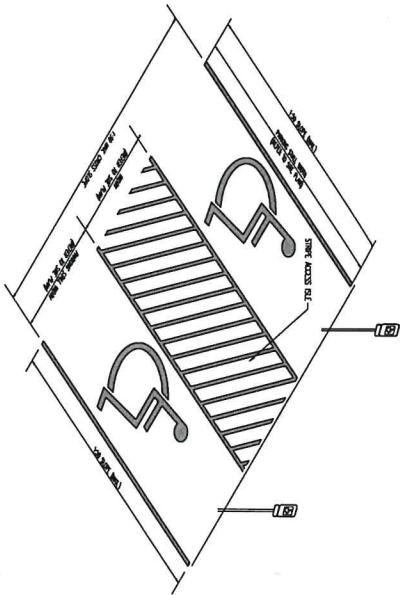
PROVISIONS:
 DATE: 03/17/2020



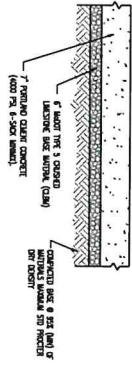
- BOLLARD INSTALLATION DETAIL**
1. BOLLARDS AT FRONT OF BUILDING TO BECOME ECONOMIC SLIPS, SEE ARCHITECTURAL.
 2. BOLLARDS AT REAR OF BUILDING TO BECOME BARRIER AND AWAY.



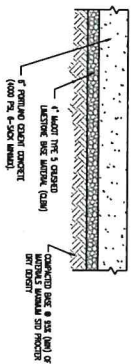
ACCESSIBLE PARKING SIGN



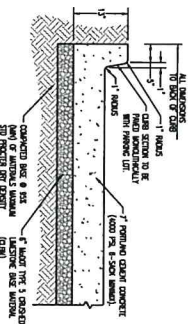
ACCESSIBLE PARKING SIGN AREA DETAIL



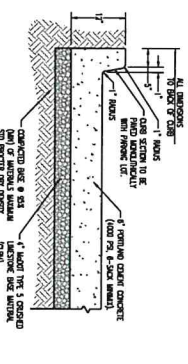
TYPICAL CONCRETE PAVEMENT CROSS SECTION (HEAVY DUTY)



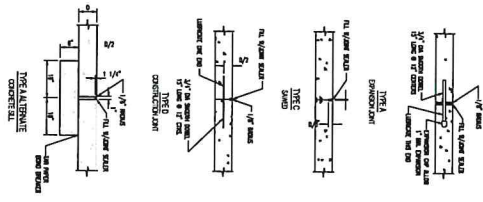
TYPICAL CONCRETE PAVEMENT CROSS SECTION (LIGHT DUTY)



6\"/>

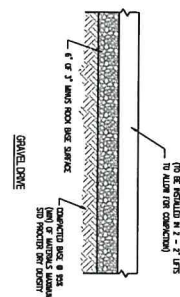


6\"/>

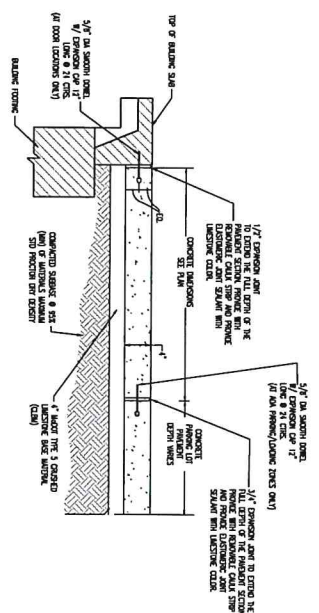


CONCRETE JOINT DETAILS

NOTE: JOINTS SHOULD BE TO THE MAXIMUM PRACTICABLE EXTENT TO MAINTAIN CONTINUITY OF SURFACE.



GRAVEL DRIVE



CONCRETE SIDEWALK NEXT TO BUILDING

DESIGNED BY NE	DATE	
DRAWN BY JE	DATE	
PROJECT NO. 20020	PREPARED BY: CROCKETT ENGINEERING CONSULTANTS 800 S. SINGLARI RD. COLUMBIA, MO 65202 www.crocketting.com Crockett Engineering Consultants, LLC Missouri Registered Professional Engineer No. 000000000	
SHEET CE 9	DRAWING NOTES: SITE CONSTRUCTION DETAILS LAKESIDE DEVELOPMENT ASHLAND, BOONE COUNTY, MISSOURI OWNER: PARKS PROPERTIES LLC 800 S. SINGLARI RD. COLUMBIA, MO 65202	

NO.	DATE
0001	6/20/2018
0002	
0003	
0004	
0005	
0006	
0007	
0008	
0009	
0010	



PREPARED BY:
CROCKETT
 ENGINEERING CONSULTANTS
 1000 N. 10th Street
 Columbia, Missouri 65201
 Phone: 660-888-8888
 Fax: 660-888-8889
 www.crockettengineering.com
 David J. Crockett, P.E.
 000000001

OWNER:
 PAVIS PROPERTIES LLC
 600 S. SHELBY AVE
 COLUMBIA, MO 65201

LAKESIDE DEVELOPMENT

ASHLAND, BOONE COUNTY, MISSOURI

DESIGNED BY: NE
 DRAWN BY: JE
 PROJECT NO.: 20033
 SHEET: CE 10

DRAWING NOTES:
 1. SEE CONSTRUCTION DETAILS FOR ALL DETAILS.
 2. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
 3. ALL MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE CONCRETE REINFORCEMENT STEEL TYPING AND FABRICATING MANUAL (CRSI).

400.03 CURB DETAILS (Commercial Driveway)

ELEVATION NOTES:

- CONCRETE SHALL BE CLASS A.
- FINISH SHALL BE AS SHOWN.
- CONCRETE SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.
- CURB SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.
- CONCRETE SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.

PLAN NOTES:

- CONCRETE SHALL BE CLASS A.
- FINISH SHALL BE AS SHOWN.
- CONCRETE SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.
- CURB SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.
- CONCRETE SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.

400.01 CURB DETAILS (Sidewalk Ramp)

ELEVATION NOTES:

- CONCRETE SHALL BE CLASS A.
- FINISH SHALL BE AS SHOWN.
- CONCRETE SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.
- CURB SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.
- CONCRETE SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.

PLAN NOTES:

- CONCRETE SHALL BE CLASS A.
- FINISH SHALL BE AS SHOWN.
- CONCRETE SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.
- CURB SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.
- CONCRETE SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.

431.01 MIDDLEBLOCK SIDEWALK RAMP (Sidewalk with Grass Parkway)

NOTE:

- CONCRETE SHALL BE CLASS A.
- FINISH SHALL BE AS SHOWN.
- CONCRETE SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.
- CURB SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.
- CONCRETE SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.

525.02 ROCK LINING FOR CULVERT OUTLETS

ELEVATION NOTES:

- CONCRETE SHALL BE CLASS A.
- FINISH SHALL BE AS SHOWN.
- CONCRETE SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.
- ROCK LINING SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.
- CONCRETE SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.

PLAN NOTES:

- CONCRETE SHALL BE CLASS A.
- FINISH SHALL BE AS SHOWN.
- CONCRETE SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.
- ROCK LINING SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.
- CONCRETE SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.

530.03 RIP RAP W/ FILTER FABRIC

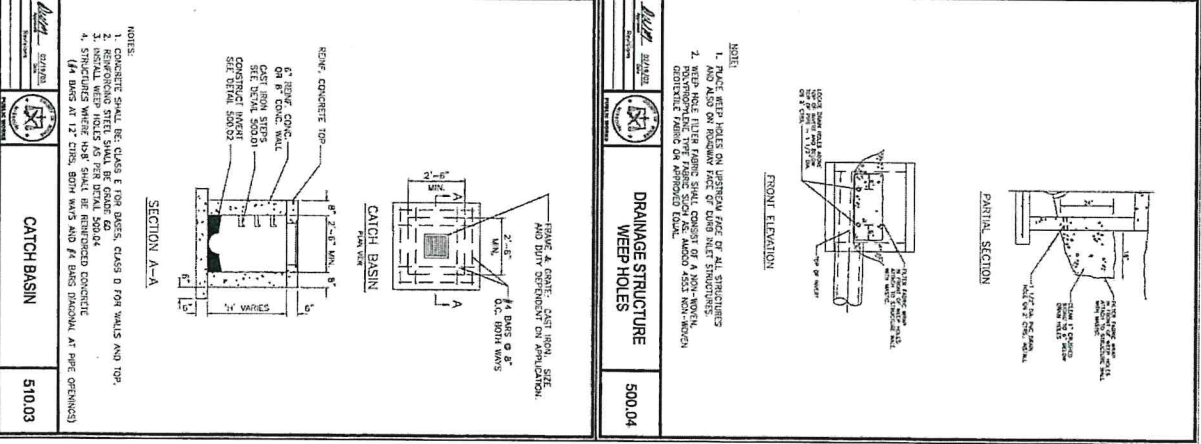
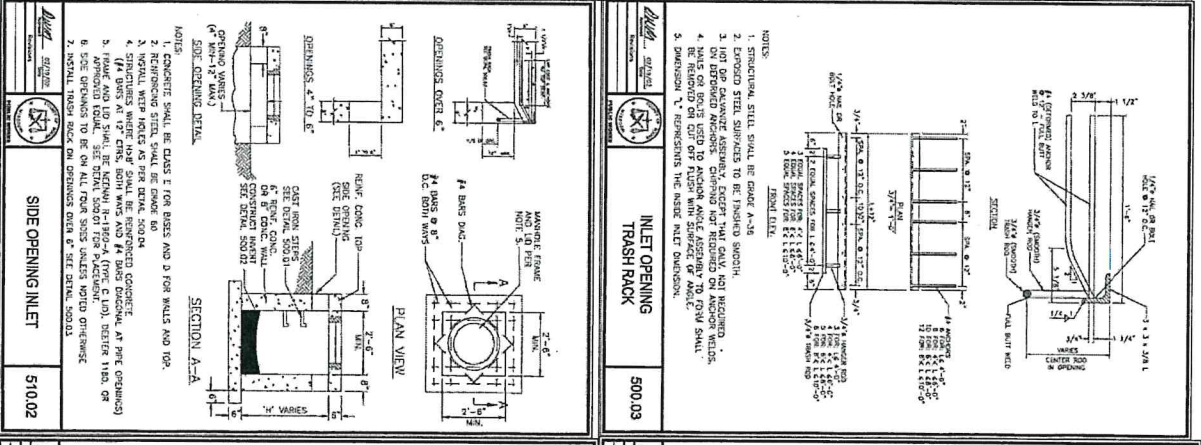
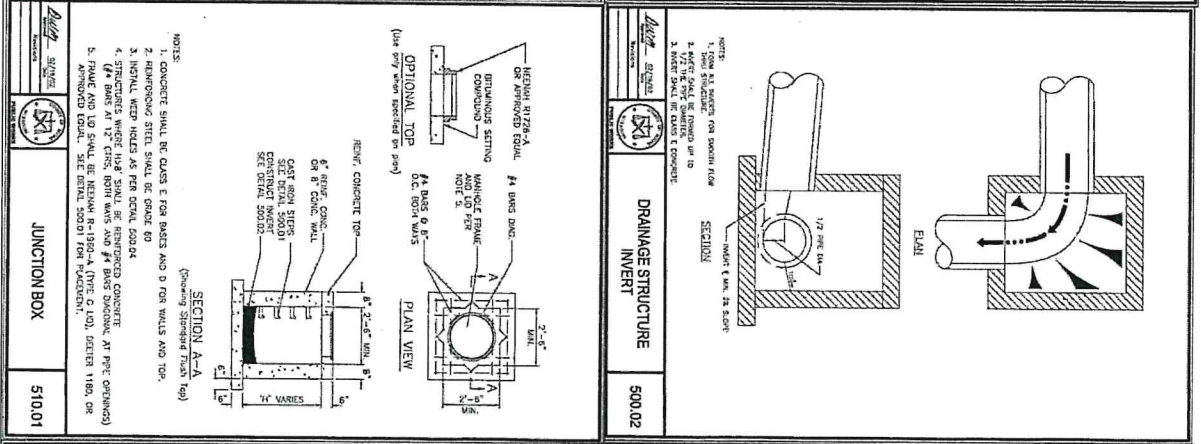
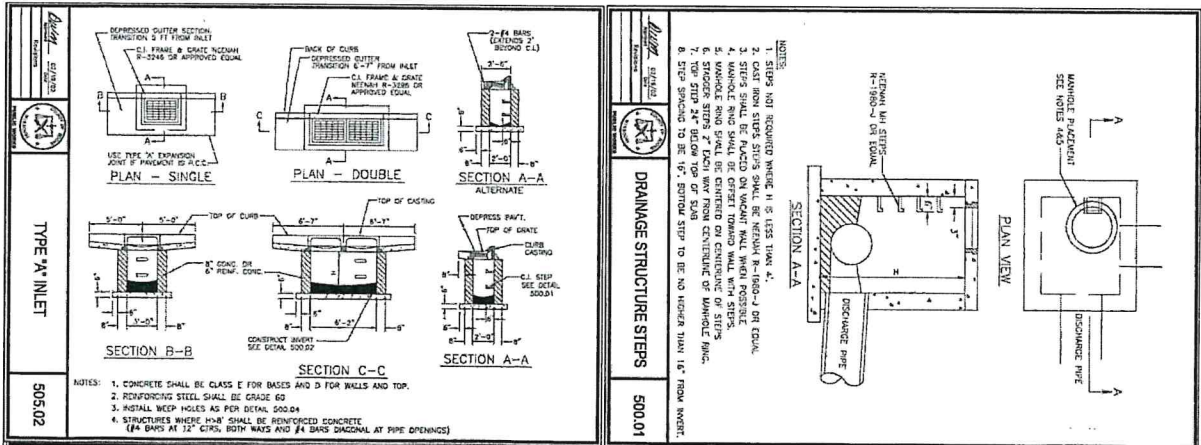
NOTE:

- CONCRETE SHALL BE CLASS A.
- FINISH SHALL BE AS SHOWN.
- CONCRETE SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.
- RIK RAP SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.
- CONCRETE SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.

420.01 SIDEWALK

NOTE:

- CONCRETE SHALL BE CLASS A.
- FINISH SHALL BE AS SHOWN.
- CONCRETE SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.
- SIDEWALK SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.
- CONCRETE SHALL BE PLACED AT LOCATIONS SIMILAR TO THE ONE SHOWN.



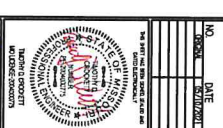
NO.	DATE	PERSONS
0001	5/27/2020	
0002		
0003		
0004		
0005		
0006		
0007		
0008		
0009		
0010		
0011		
0012		
0013		
0014		
0015		
0016		
0017		
0018		
0019		
0020		
0021		
0022		
0023		
0024		
0025		
0026		
0027		
0028		
0029		
0030		
0031		
0032		
0033		
0034		
0035		
0036		
0037		
0038		
0039		
0040		
0041		
0042		
0043		
0044		
0045		
0046		
0047		
0048		
0049		
0050		
0051		
0052		
0053		
0054		
0055		
0056		
0057		
0058		
0059		
0060		
0061		
0062		
0063		
0064		
0065		
0066		
0067		
0068		
0069		
0070		
0071		
0072		
0073		
0074		
0075		
0076		
0077		
0078		
0079		
0080		
0081		
0082		
0083		
0084		
0085		
0086		
0087		
0088		
0089		
0090		
0091		
0092		
0093		
0094		
0095		
0096		
0097		
0098		
0099		
0100		

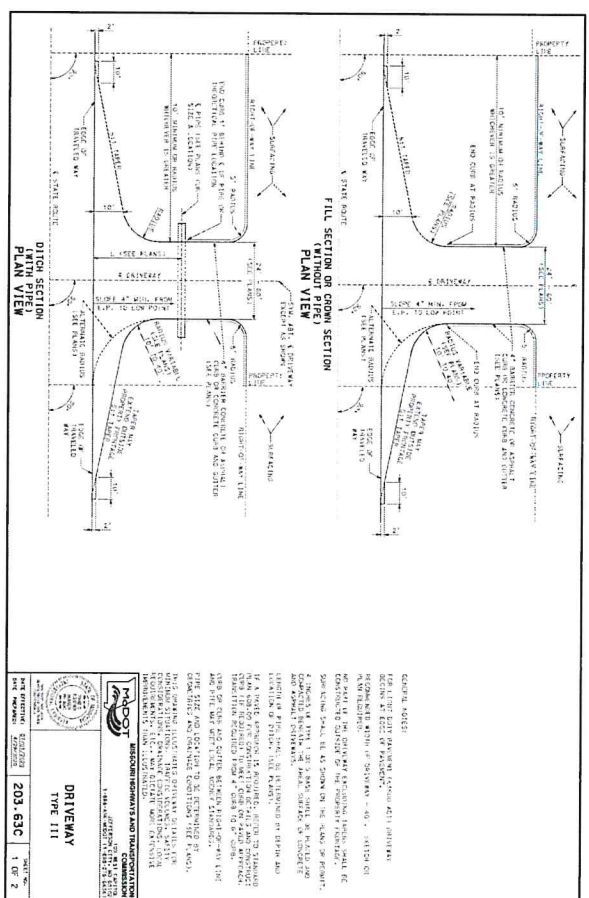
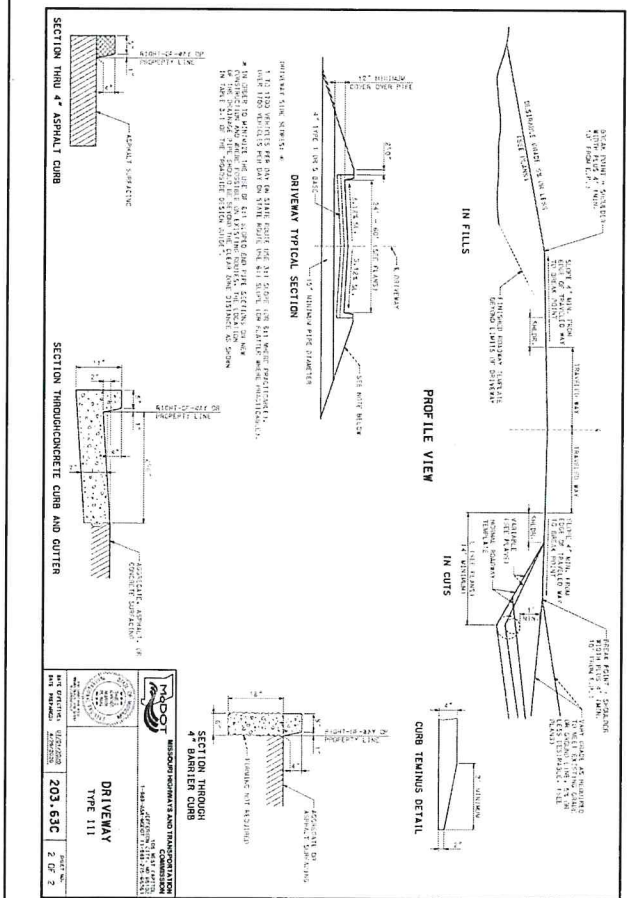
DESIGNED: NE
 DRAWN: JE
 PROJECT NO: 20033
 SHEET: CE II

DRAINAGE DETAILS
 STORMWATER
 LAKESIDE DEVELOPMENT
 ASHLAND, BOONE COUNTY, MISSOURI

OWNER:
 PARKS PROPERTIES LLC
 600 S. SHILOH RD.
 COLUMBIA, MO 65202

PREPARED BY:
CROCKETT
 ENGINEERING CONSULTANTS
 600 S. SHILOH RD.
 COLUMBIA, MO 65202
 www.crocketting.com
 Crockett Engineering Consultants, LLC
 Missouri Professional Engineering Seal No. 000000001



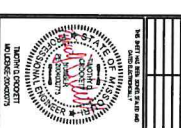


DESIGNED	ME
DRAWN	JE
PROJECT NO.	203.63C
SHEET	CE 2

LAKESIDE DEVELOPMENT
ASHLAND, BOONE COUNTY, MISSOURI

OWNER:
PARKS PROPERTIES LLC
600 S. SUGAR HILL
COLUMBIA, MO 65202

PREPARED BY:
CROCKETT
ENGINEERING CONSULTANTS
1000 S. SUGAR HILL
COLUMBIA, MISSOURI 65202
www.crocketting.com



PROJECT NO.	203.63C
DATE	07/20/2017
NO. SHEETS	2 OF 2



Community Development

Land Use Staff Report

DATE: August 10th, 2021
TO: Planning & Zoning Commission
FROM: Dan VandeVoorde, Community Development
SUBJECT: East Ashland Plaza – Lot 4 (**Breaktime Gas Pumps**)

The purpose of this report is to provide you with information regarding a request for a commercial Site Plan approval from the Planning & Zoning Commission. The submitting engineering firm is Crocket Engineering with City of Ashland staff performing the review.

GENERAL INFORMATION

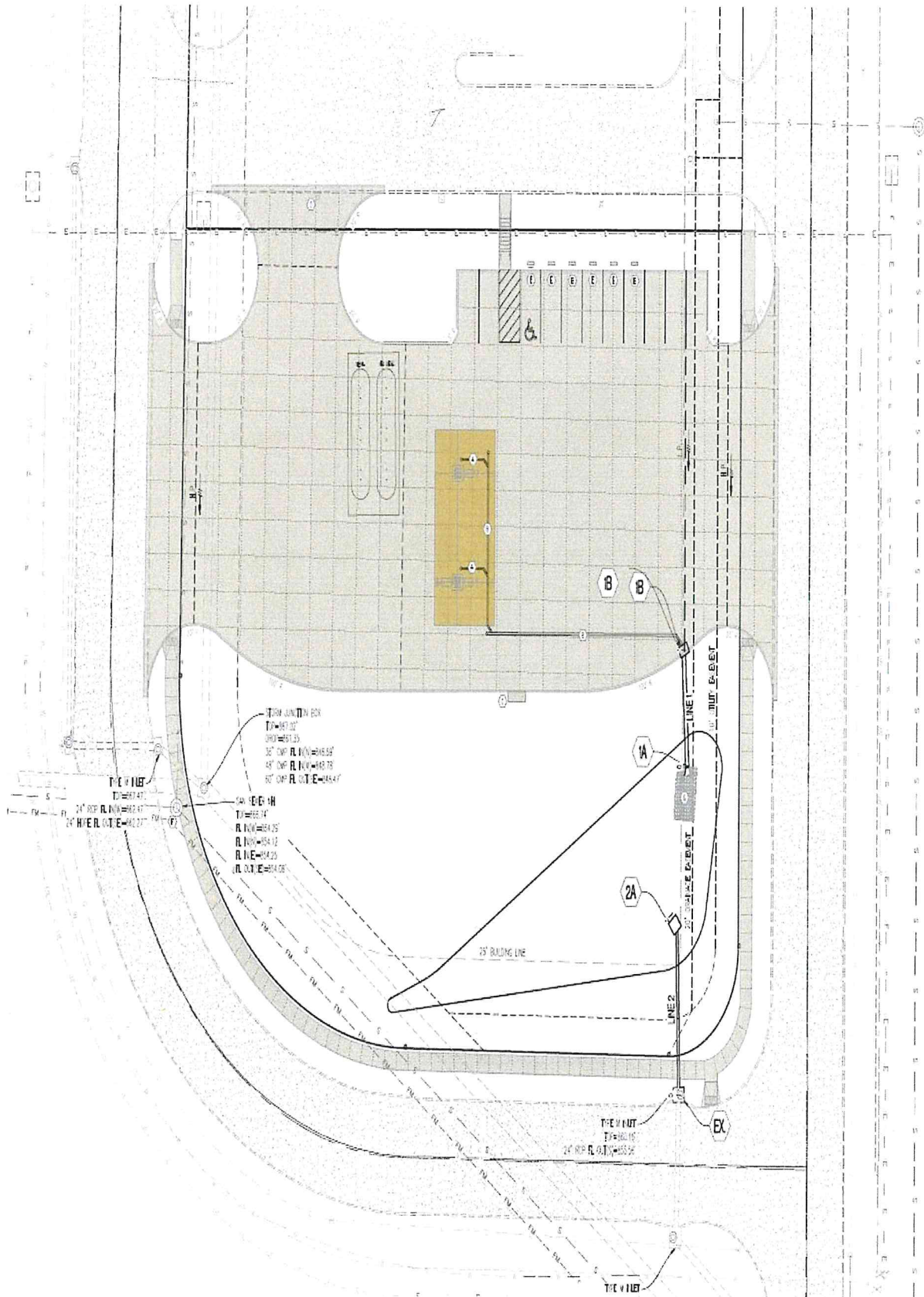
Parcel Information. Lot 4 East Ashland Plaza.

Parcel Size / Physical Characteristics. The subject property originally was approximately 1.2 acre in size. This lot sits directly South of the Breaktime on Eastside Dr.

Zoning Classification. C-G (General Commercial)



LOCATION MAP



SITE PLAN

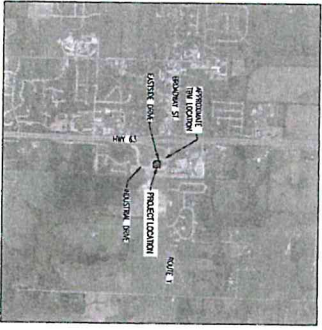
ANALYSIS

This Site Plan is for the expansion to Breaktime to allow for an increase in the number of diesel/gas pumps. It will also include 6 electric vehicle charging stations. Included in this site plan is a detention basin on the south side of the lot to accommodate for stormwater from this lot. It will have entrance/exits on Eastside Dr as well as Industrial Dr. It will also connect with the existing Breaktime to the North.

CITY STAFF OPINION

After careful consideration staff recommends approval of submitted Site Plan for construction as it was reviewed by the City of Ashland Civil Engineer and has met City Code.

EAST ASHLAND PLAZA - LOT 4 DIESEL PUMPS



LOCATION MAP

GENERAL NOTES:

PROJECT BENCHMARK:
 BM 11 - 4.18' CORNER OF THE EAST ASHLAND APPROXIMATE CORNER TO THE CORNER OF THE PROPERTY, ON THE WEST SIDE OF DIESSEL DRIVE.

FLOODPLAIN STATEMENT:
 THE SITE IS NOT LOCATED WITHIN A FLOODPLAIN AS PER THE BOONE COUNTY FIRM MAP DATED OCTOBER 09/2011.

LEGAL DESCRIPTION:
 LOT 4 OF EAST ASHLAND PLAZA, 100' EASMENT OF BOONE COUNTY, MISSOURI.

UTILITY COMPANIES:

LOCITIES:

BOONE COUNTY
 CITY OF ASHLAND
 BOONE COUNTY, MO 64003
 1-800-334-7463

TELEPHONE/TELEVISION:

BOONE COUNTY
 CITY OF ASHLAND
 BOONE COUNTY, MO 64003
 572-992-3100

NATURAL GASES:

BOONE COUNTY
 CITY OF ASHLAND
 BOONE COUNTY, MO 64003
 572-992-3100

POWER/TELEVISION:

BOONE COUNTY
 CITY OF ASHLAND
 BOONE COUNTY, MO 64003
 572-992-3100

ALL PUBLIC SERVICES/UTILITIES, STREET LIGHTING, AND SIGNAGE SHALL BE CONSIDERED TO BE IN ACCORDANCE WITH THE CITY OF ASHLAND ORDINANCES AND SPECIFICATIONS. CONTRACTOR SHALL:
 1. MAINTAIN EXISTING UTILITIES AND SIGNAGE.
 2. PROVIDE PROTECTION TO EXISTING UTILITIES AND SIGNAGE.
 3. MAINTAIN RECORDS OF ALL UTILITIES AND SIGNAGE.
 4. MAINTAIN ACCESS TO ALL UTILITIES AND SIGNAGE.
 5. MAINTAIN RECORDS OF ALL UTILITIES AND SIGNAGE.
 6. MAINTAIN RECORDS OF ALL UTILITIES AND SIGNAGE.
 7. MAINTAIN RECORDS OF ALL UTILITIES AND SIGNAGE.
 8. MAINTAIN RECORDS OF ALL UTILITIES AND SIGNAGE.

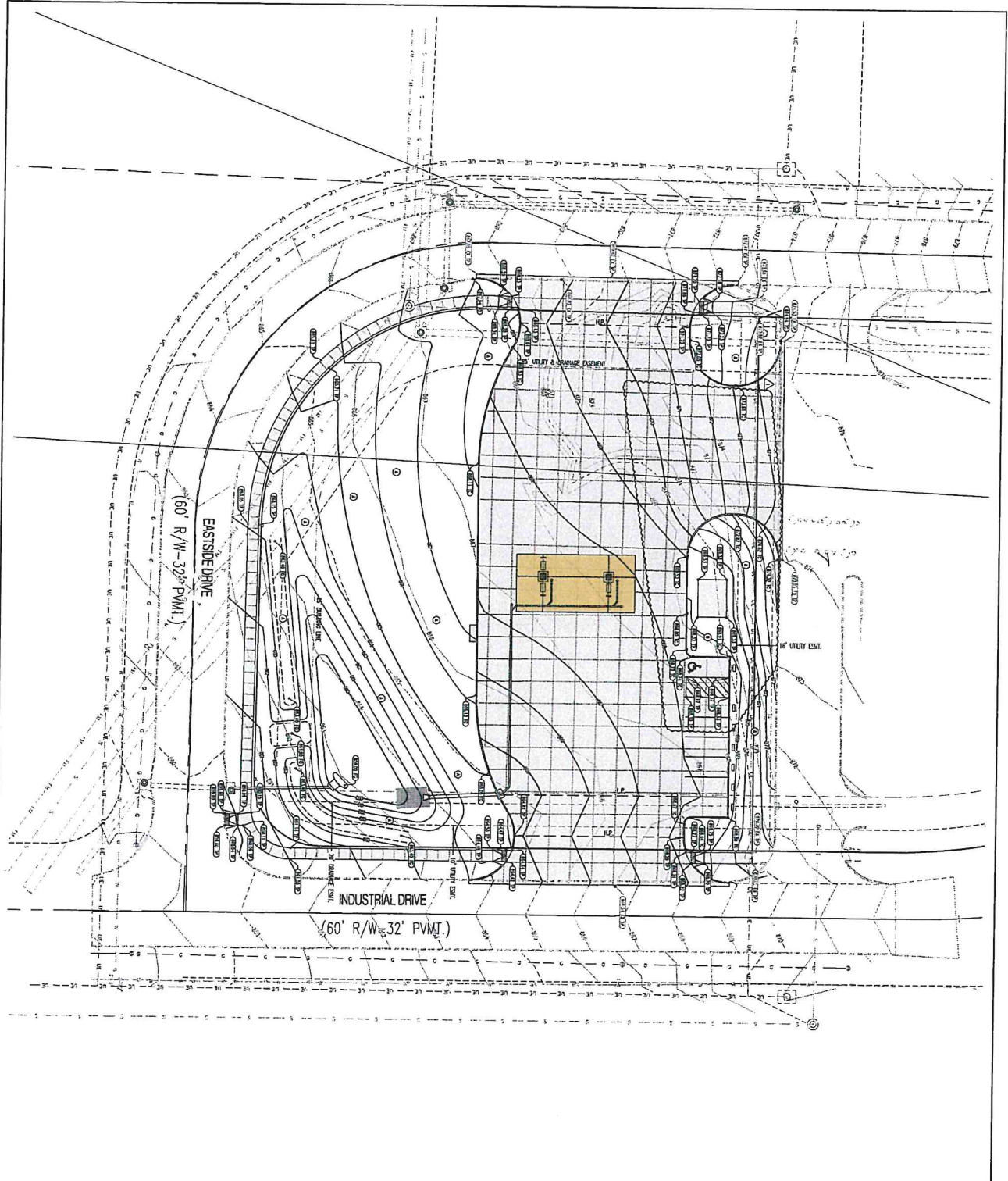
LEGEND OF SYMBOLS:

- | | |
|--|---------------------------|
| | PROPOSED CURB |
| | PROPOSED SIDEWALK |
| | PROPOSED DRIVEWAY |
| | PROPOSED PARKING AREA |
| | PROPOSED SITE PLAN |
| | PROPOSED STORM SEWER |
| | PROPOSED SANITARY SEWER |
| | PROPOSED WATER MAIN |
| | PROPOSED GAS LINE |
| | PROPOSED UTILITY LINE |
| | PROPOSED FENCE |
| | PROPOSED LIGHTING FIXTURE |
| | PROPOSED PLANT |
| | PROPOSED UTILITY VAULT |
| | PROPOSED MANHOLE |
| | PROPOSED CATCH BASIN |
| | PROPOSED PUMP STATION |

Sheet Number	Sheet Title	DATE	REVISION 1	REVISION 2	REVISION 3
CE0	COVER SHEET	07/09/2021	X	X	
CE1	EROSION CONTROL PLAN		X		
CE2	GRADING PLAN		X	X	
CE3	LAYOUT PLAN		X		
CE4	STORM SEWER PROFILES - LINES 1 & 2 STORM SEWER DETAILS		X		
CE5	SITE PLAN		X	X	
CE6	PRELIMINARY CONSTRUCTION DETAILS		X		
CE7	FIELD SITE CONSTRUCTION DETAILS		X		

NO.	DATE	REVISIONS
1	07/09/2021	ISSUED FOR BIDDING
2	07/28/2021	REVISION 1
3	07/28/2021	REVISION 2
4	07/28/2021	REVISION 3

<p>DESIGNED: TDC DRAWING: JMC PROJECT NO.: 80028 SHEET: CE0</p>	<p>OWNER: GREYSTONE CAPITAL GROUP 332 CAMPUS VILL VILLAGE DRIVE COLUMBIA, MO 65202</p>	<p>PREPARED BY: CROCKETT ENGINEERING CONSULTANTS, INC. 1100 N. 8TH STREET, SUITE 201 COLIUMBI, MISSOURI 65203 WWW.CROCKETTENGINEERING.COM CROCKETT ENGINEERING CONSULTANTS, INC. MISSOURI ENGINEERING AND SURVEYING BOARD NO. 00121495</p>	<p>PROJECT: EAST ASHLAND PLAZA - LOT 4 DIESSEL PUMPS ASHLAND, BOONE COUNTY, MISSOURI</p>	<p>DRAWING INCLUDES: COVER SHEET</p>
--	---	--	---	---

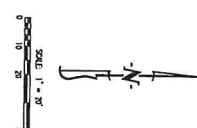


LEGEND OF LABELS

- ① THE DATE AS SHOWN IN PROPOSED
- ② EXISTING MANHOLE
- ③ PROPOSED MANHOLE
- ④ EXISTING MANHOLE COVER
- ⑤ PROPOSED MANHOLE COVER
- ⑥ PROPOSED FLOOR OF STRUCTURE
- ⑦ PROPOSED FLOOR OF CURB ELEVATION
- ⑧ 5' (10') WALLS FROM CURB ELEVATION
- ⑨ PROPOSED FLOOR FROM CURB ELEVATION
- ⑩ PROPOSED FLOOR FROM CURB AT TOP OF WALL

LEGEND OF SYMBOLS

- EXISTING MANHOLE COVER
- PROPOSED MANHOLE COVER
- FLOOR
- PROPOSED FLOOR OF STRUCTURE
- PROPOSED FLOOR OF CURB ELEVATION
- 5' (10') WALLS FROM CURB ELEVATION
- PROPOSED FLOOR FROM CURB ELEVATION
- PROPOSED FLOOR FROM CURB AT TOP OF WALL

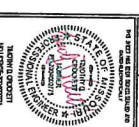


DESIGNED BY	TTC
DRAWN BY	INC
PROJECT NO.	80009
SHEET	CE 2

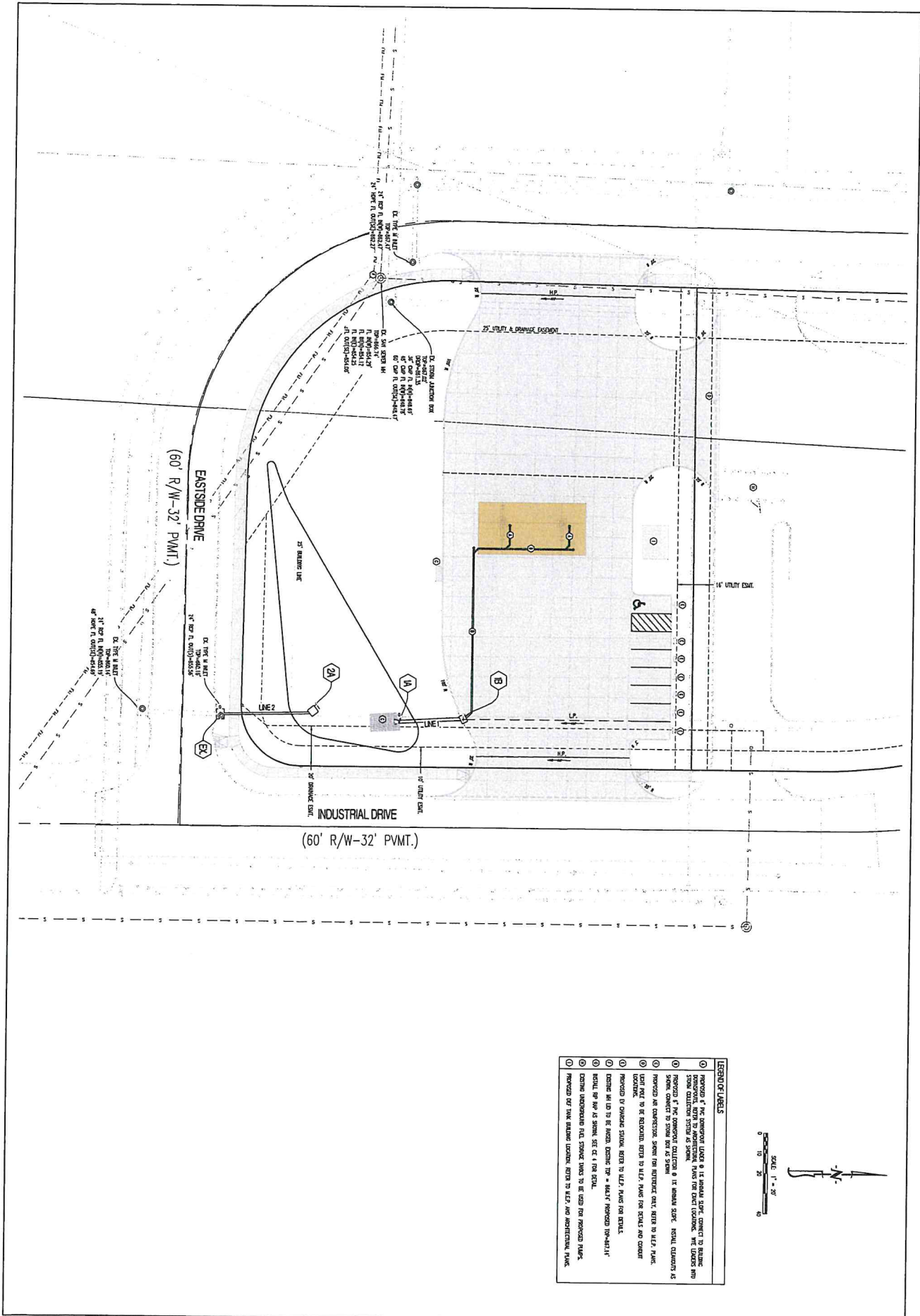
**EAST ASHLAND PLAZA - LOT 4
DIESEL PUMPS
ASHLAND, BOONE COUNTY, MISSOURI**

OWNER
GREYSTONE CAP FUND, LLC
332 CAMPUS VIEW SUITE 05
COLUMBIA, MO 65201

PREPARED BY:
CROCKETT
ENGINEERING CONSULTANTS, INC.
1000 N. 4th Street, Ste. 100
Columbia, Missouri 65201
www.crockettengineering.com
Crockett Engineering Consultants, LLC
Missouri Certificate of Authority
14308000000



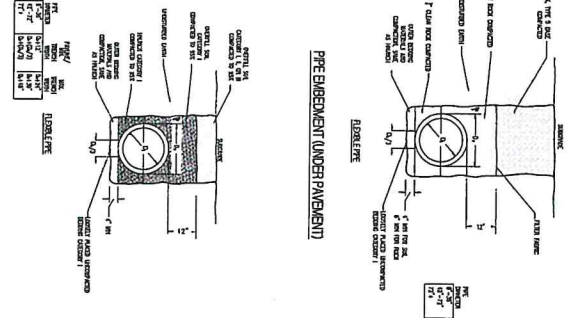
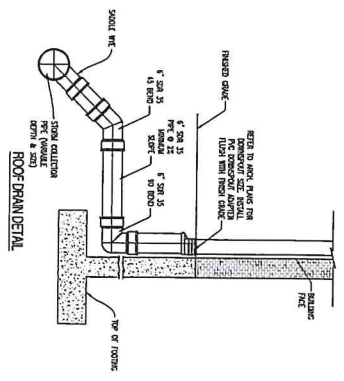
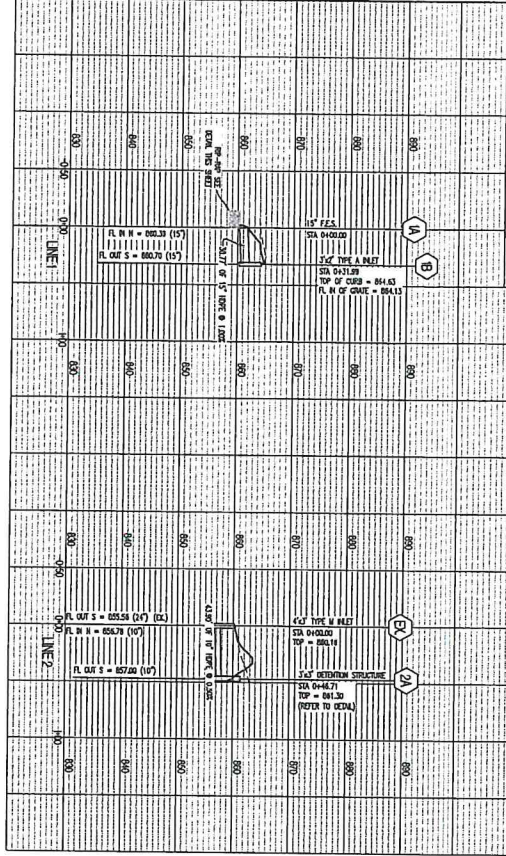
REVISIONS	NO.	DATE
	1	11/11/2011
	2	11/11/2011
	3	11/11/2011
	4	11/11/2011
	5	11/11/2011



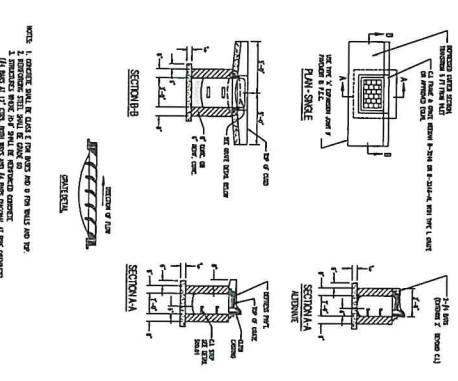
- LEGEND OF LABELS**
- ① Proposed 1" PVC Composite Line & 12" Industrial Steel, Connect to Balance Line, (shown as dashed line) for Diesel Pumps. The Under the Street Collection System is shown.
 - ② Proposed 1" PVC Composite Collection & 12" Industrial Steel, Retail Customers to Street, Connect to Street via 45' Street.
 - ③ Proposed an Collection, shown the retention tank, water to 12.5' tank, 12.5' tank to be retained, water to 12.5' tank for retail and street.
 - ④ Proposed by drainage station, water to 12.5' tank for retail.
 - ⑤ Existing 12" to be shown, 12" to 12.5' tank for retail.
 - ⑥ Existing 12" to be shown, 12" to 12.5' tank for retail.
 - ⑦ Existing 12" to be shown, 12" to 12.5' tank for retail.
 - ⑧ Existing 12" to be shown, 12" to 12.5' tank for retail.
 - ⑨ Proposed by 12" drainage station, water to 12.5' tank for industrial.

<h2 style="margin: 0;">EAST ASHLAND PLAZA - LOT 4</h2> <h3 style="margin: 0;">DIESEL PUMPS</h3> <p style="margin: 0;">ASHLAND, BOONE COUNTY, MISSOURI</p>		OWNER GREYSTONE CAPITAL GROUP 300 CAMPUS VIEW SUITE 600 COLUMBIA, MO 65201	PREPARED BY: CROCKETT ENGINEERING CONSULTANTS <small>1800 N. W. 10th St., Ft. Lauderdale, FL 33304 (954) 576-2000 www.crockettengineering.com</small> Crockett Engineering Consultants, LLC <small>A Missouri Corporation of 2015</small>		REVISIONS NO. DATE 1 1/15/2023 2 1/15/2023
DRAWING INCLUDES UTILITY PLAN		DESIGNED: TDC DRAWN: INC PROJECT NO: 80003 SHEET: CE3			

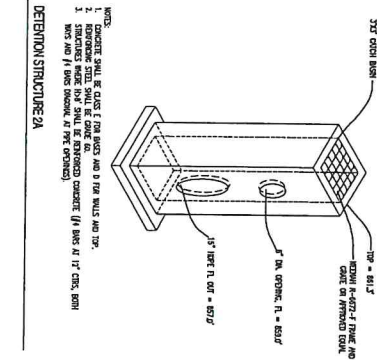
SCALE:	LEGEND OF LIBELS
HEIGHT - 5'	① CONCRETE ROAD (IN FRONT - 3'-0")
VERTICAL - 1"	② ASPHALT DRIVEWAY
	③ CONCRETE DRIVEWAY



PIPE EMBEDMENT (NOT UNDER PAVEMENT)

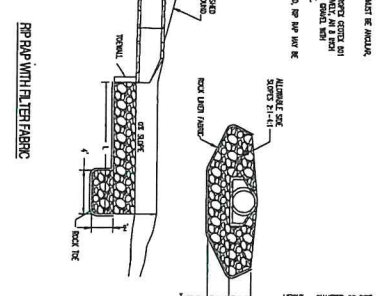


SINGLE TYPE 'A' INLET

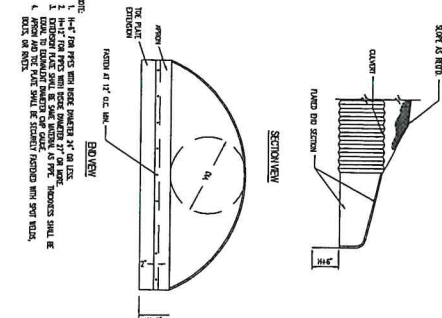


DETECTION STRUCTURE '2A'

NO.	DESCRIPTION	QTY.	UNIT
1	CONCRETE ROAD (IN FRONT - 3'-0")	1	SECTION
2	ASPHALT DRIVEWAY	1	SECTION
3	CONCRETE DRIVEWAY	1	SECTION
4	CONCRETE CURB	1	SECTION
5	CONCRETE GUTTER	1	SECTION
6	CONCRETE INLET	1	SECTION
7	CONCRETE DETENTION STRUCTURE	1	SECTION
8	CONCRETE PAVEMENT	1	SECTION
9	CONCRETE CURB	1	SECTION
10	CONCRETE GUTTER	1	SECTION
11	CONCRETE INLET	1	SECTION
12	CONCRETE DETENTION STRUCTURE	1	SECTION
13	CONCRETE PAVEMENT	1	SECTION
14	CONCRETE CURB	1	SECTION
15	CONCRETE GUTTER	1	SECTION
16	CONCRETE INLET	1	SECTION
17	CONCRETE DETENTION STRUCTURE	1	SECTION
18	CONCRETE PAVEMENT	1	SECTION
19	CONCRETE CURB	1	SECTION
20	CONCRETE GUTTER	1	SECTION
21	CONCRETE INLET	1	SECTION
22	CONCRETE DETENTION STRUCTURE	1	SECTION
23	CONCRETE PAVEMENT	1	SECTION
24	CONCRETE CURB	1	SECTION
25	CONCRETE GUTTER	1	SECTION
26	CONCRETE INLET	1	SECTION
27	CONCRETE DETENTION STRUCTURE	1	SECTION
28	CONCRETE PAVEMENT	1	SECTION
29	CONCRETE CURB	1	SECTION
30	CONCRETE GUTTER	1	SECTION
31	CONCRETE INLET	1	SECTION
32	CONCRETE DETENTION STRUCTURE	1	SECTION
33	CONCRETE PAVEMENT	1	SECTION
34	CONCRETE CURB	1	SECTION
35	CONCRETE GUTTER	1	SECTION
36	CONCRETE INLET	1	SECTION
37	CONCRETE DETENTION STRUCTURE	1	SECTION
38	CONCRETE PAVEMENT	1	SECTION
39	CONCRETE CURB	1	SECTION
40	CONCRETE GUTTER	1	SECTION
41	CONCRETE INLET	1	SECTION
42	CONCRETE DETENTION STRUCTURE	1	SECTION
43	CONCRETE PAVEMENT	1	SECTION
44	CONCRETE CURB	1	SECTION
45	CONCRETE GUTTER	1	SECTION
46	CONCRETE INLET	1	SECTION
47	CONCRETE DETENTION STRUCTURE	1	SECTION
48	CONCRETE PAVEMENT	1	SECTION
49	CONCRETE CURB	1	SECTION
50	CONCRETE GUTTER	1	SECTION
51	CONCRETE INLET	1	SECTION
52	CONCRETE DETENTION STRUCTURE	1	SECTION
53	CONCRETE PAVEMENT	1	SECTION
54	CONCRETE CURB	1	SECTION
55	CONCRETE GUTTER	1	SECTION
56	CONCRETE INLET	1	SECTION
57	CONCRETE DETENTION STRUCTURE	1	SECTION
58	CONCRETE PAVEMENT	1	SECTION
59	CONCRETE CURB	1	SECTION
60	CONCRETE GUTTER	1	SECTION
61	CONCRETE INLET	1	SECTION
62	CONCRETE DETENTION STRUCTURE	1	SECTION
63	CONCRETE PAVEMENT	1	SECTION
64	CONCRETE CURB	1	SECTION
65	CONCRETE GUTTER	1	SECTION
66	CONCRETE INLET	1	SECTION
67	CONCRETE DETENTION STRUCTURE	1	SECTION
68	CONCRETE PAVEMENT	1	SECTION
69	CONCRETE CURB	1	SECTION
70	CONCRETE GUTTER	1	SECTION
71	CONCRETE INLET	1	SECTION
72	CONCRETE DETENTION STRUCTURE	1	SECTION
73	CONCRETE PAVEMENT	1	SECTION
74	CONCRETE CURB	1	SECTION
75	CONCRETE GUTTER	1	SECTION
76	CONCRETE INLET	1	SECTION
77	CONCRETE DETENTION STRUCTURE	1	SECTION
78	CONCRETE PAVEMENT	1	SECTION
79	CONCRETE CURB	1	SECTION
80	CONCRETE GUTTER	1	SECTION
81	CONCRETE INLET	1	SECTION
82	CONCRETE DETENTION STRUCTURE	1	SECTION
83	CONCRETE PAVEMENT	1	SECTION
84	CONCRETE CURB	1	SECTION
85	CONCRETE GUTTER	1	SECTION
86	CONCRETE INLET	1	SECTION
87	CONCRETE DETENTION STRUCTURE	1	SECTION
88	CONCRETE PAVEMENT	1	SECTION
89	CONCRETE CURB	1	SECTION
90	CONCRETE GUTTER	1	SECTION
91	CONCRETE INLET	1	SECTION
92	CONCRETE DETENTION STRUCTURE	1	SECTION
93	CONCRETE PAVEMENT	1	SECTION
94	CONCRETE CURB	1	SECTION
95	CONCRETE GUTTER	1	SECTION
96	CONCRETE INLET	1	SECTION
97	CONCRETE DETENTION STRUCTURE	1	SECTION
98	CONCRETE PAVEMENT	1	SECTION
99	CONCRETE CURB	1	SECTION
100	CONCRETE GUTTER	1	SECTION

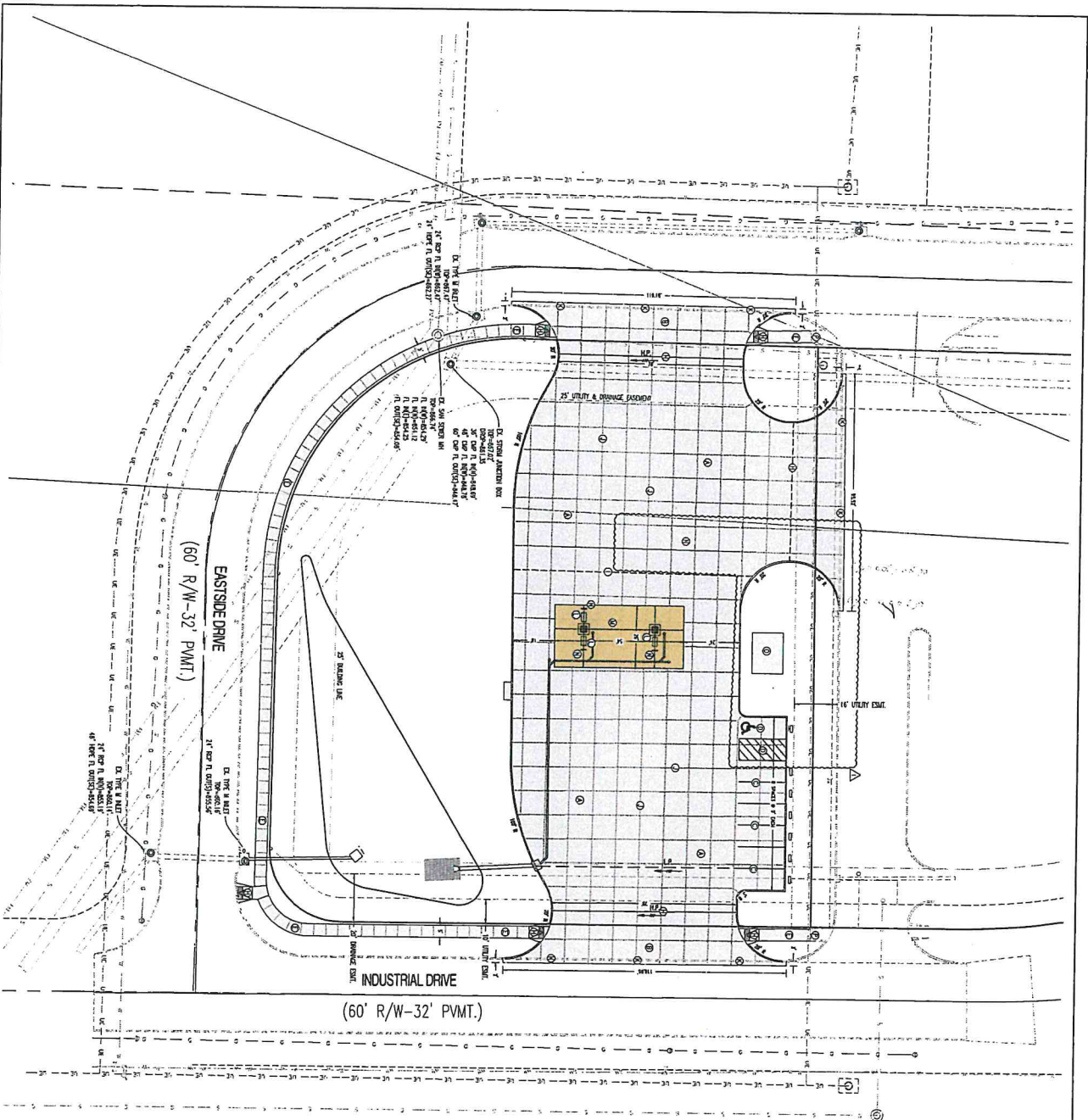


PP-RAP WITH FILTER FABRIC



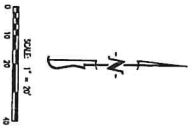
END SECTION FOR PIPE AND MANP

DESIGNED: TJC DRAWN: HNC PROJECT NO.: 8029 SHEET: CE 4	DRAWING INCLUDES: STATIONERS: PROJECT: JUNE 12, 2013 STATIONERS/ENGINEERS	EAST ASHLAND PLAZA - LOT 4 DIESEL PUMPS ASHLAND, BOONE COUNTY, MISSOURI	OWNER: GREYSTONE CIVIC FUND LLC 300 CAMPUS VIEW SUITE 100 COLUMBIA, MO 65202	PREPARED BY: GROCKETT SURVEYING CONSULTANTS 1000 N. WASHINGTON ST., SUITE 100 COLLEGE SPRING, MO 65735 www.grockettsurveying.com Grockett Engineering Consulting, LLC Missouri Engineering and Surveying	MISSOURI REGISTERED PROFESSIONAL SURVEYOR STATE OF MISSOURI SURVEYING BOARD LICENSE NO. 14478 EXPIRES 12/31/2015	REVISIONS: NO. DATE 1 12/15/2013
---	--	---	---	--	--	--



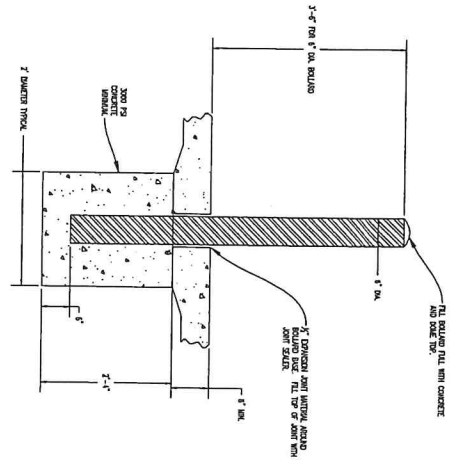
GENERAL NOTES

1) THE SHOWN JOINT SHALL BE A ORIGINAL REPRESENTATION OF A POSSIBLE JOINT IF EXISTING. NO ASSUMPTIONS SHALL BE MADE AS TO THE LOCATION OF THE JOINT UNLESS INDICATED OTHERWISE.

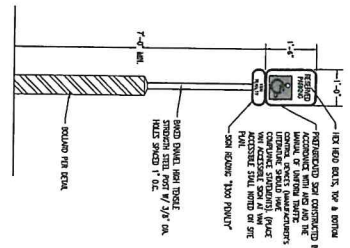


LEGEND OF LABELS	
①	EXISTING WORK NOT COVERED BY EXISTING CURB OR DRIVEWAY. REFER TO PROJECT CROSS SECTION ON SET 1.
②	EXISTING CONCRETE DRIVE APPROACH. REFER TO SET 1. SHALL BE ON SET 1.
③	EXISTING DRIVEWAY. REFER TO SET 1. SHALL BE ON SET 1.
④	EXISTING DRIVEWAY. REFER TO SET 1. SHALL BE ON SET 1.
⑤	EXISTING DRIVEWAY. REFER TO SET 1. SHALL BE ON SET 1.
⑥	EXISTING DRIVEWAY. REFER TO SET 1. SHALL BE ON SET 1.
⑦	EXISTING DRIVEWAY. REFER TO SET 1. SHALL BE ON SET 1.
⑧	EXISTING DRIVEWAY. REFER TO SET 1. SHALL BE ON SET 1.
⑨	EXISTING DRIVEWAY. REFER TO SET 1. SHALL BE ON SET 1.
⑩	EXISTING DRIVEWAY. REFER TO SET 1. SHALL BE ON SET 1.
⑪	EXISTING DRIVEWAY. REFER TO SET 1. SHALL BE ON SET 1.
⑫	EXISTING DRIVEWAY. REFER TO SET 1. SHALL BE ON SET 1.
⑬	EXISTING DRIVEWAY. REFER TO SET 1. SHALL BE ON SET 1.
⑭	EXISTING DRIVEWAY. REFER TO SET 1. SHALL BE ON SET 1.
⑮	EXISTING DRIVEWAY. REFER TO SET 1. SHALL BE ON SET 1.
⑯	EXISTING DRIVEWAY. REFER TO SET 1. SHALL BE ON SET 1.
⑰	EXISTING DRIVEWAY. REFER TO SET 1. SHALL BE ON SET 1.
⑱	EXISTING DRIVEWAY. REFER TO SET 1. SHALL BE ON SET 1.
⑲	EXISTING DRIVEWAY. REFER TO SET 1. SHALL BE ON SET 1.
⑳	EXISTING DRIVEWAY. REFER TO SET 1. SHALL BE ON SET 1.
㉑	EXISTING DRIVEWAY. REFER TO SET 1. SHALL BE ON SET 1.

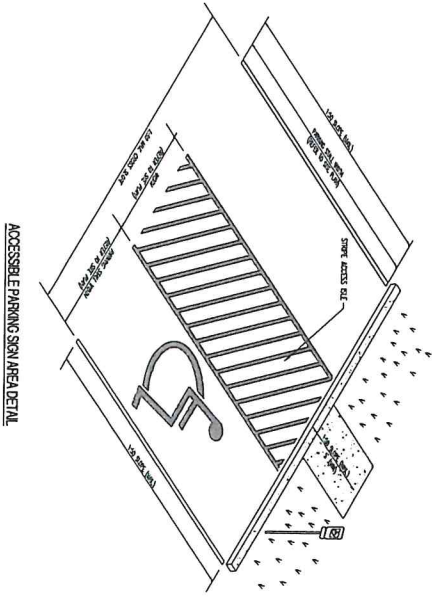
<p>DESIGNED: TDC</p> <p>DRAWN: MFC</p> <p>PROJECT NO: 50029</p> <p>SHEET: CE 5</p>	<p>EAST ASHLAND PLAZA - LOT 4 DIESEL PUMPS ASHLAND, BOONE COUNTY, MISSOURI</p>	<p>OWNER</p> <p>GREYSTONE CAPITAL GROUP 300 CAMPUS VIEW SUITE 606 COLUMBIA, MO 65202</p>	<p>PREPARED BY:</p> <p>CROCKETT ENGINEERING CONSULTANTS</p> <p>1800 W. BRIDGEVIEW DRIVE COLUMBIA, MISSOURI 65201 (616) 262-1000 www.crockett-engineering.com</p> <p>Crockett Engineering Consultants, LLC A Missouri Corporation of 8th Party 10/18/2018</p>	<p>NO. 1</p> <p>DATE</p> <p>11/15/2018</p> <p>BY: MFC</p>	<p>REVISIONS</p>
--	---	--	---	---	------------------



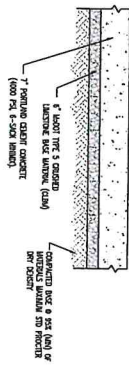
BOLLARD INSTALLATION DETAIL
 1. BOLLARDS AT FRONT OF PARKING TO REDUCE ECONOMIC SLIPIC, SEE ARCHITECTURAL.



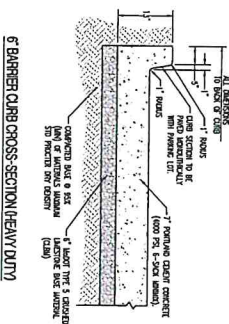
ACCESSIBLE PARKING SIGN



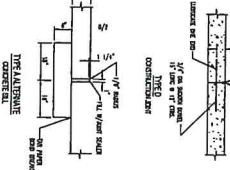
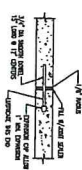
ACCESSIBLE PARKING SIGN AREA DETAIL



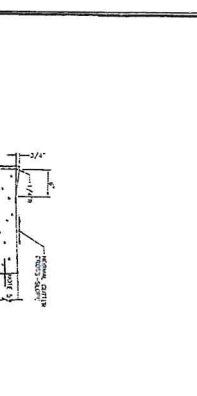
TYPICAL CONCRETE PAVEMENT CROSS SECTION (HEAVY DUTY)



**6\"/>
HEAVY DUTY PAVEMENT**

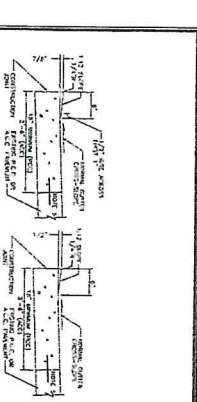


CONCRETE JOINT DETAILS
 NOTE: SHOW SOLUTION TO BE PER REGIONAL PAVEMENTING COMMISSION TO SUBMIT FOR APPROVAL.



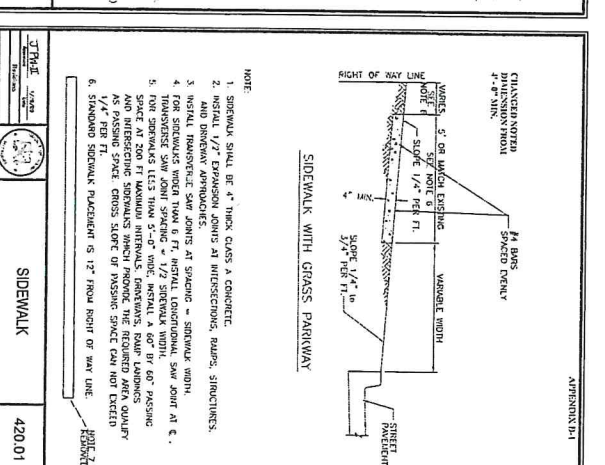
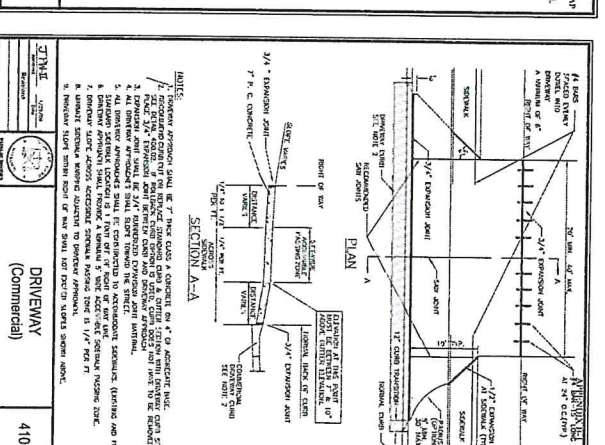
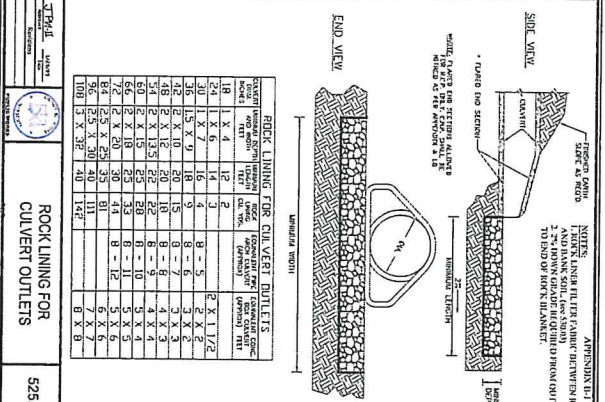
- REQUIREMENTS:**
- CONCRETE SHALL BE CLASS A.
 - 3" MINIMUM THICKNESS FOR ALL CURBS.
 - EXPANDED POLYPROPYLENE FIBER (EPP) SHALL BE USED AT 1% RATIO BY WEIGHT.
 - CONCRETE SHALL BE CURED FOR 7 DAYS.
 - INSTALL 1" x 1" REINFORCING BARS AT 4" ON CENTER (LONGITUDINAL) AND 12" ON CENTER (TRANSVERSE) AT ALL CORNERS AND ENDS.
 - INSTALL 1" x 1" REINFORCING BARS AT 4" ON CENTER (LONGITUDINAL) AND 12" ON CENTER (TRANSVERSE) AT ALL ENDS.
 - INSTALL 1" x 1" REINFORCING BARS AT 4" ON CENTER (LONGITUDINAL) AND 12" ON CENTER (TRANSVERSE) AT ALL ENDS.
 - INSTALL 1" x 1" REINFORCING BARS AT 4" ON CENTER (LONGITUDINAL) AND 12" ON CENTER (TRANSVERSE) AT ALL ENDS.
 - INSTALL 1" x 1" REINFORCING BARS AT 4" ON CENTER (LONGITUDINAL) AND 12" ON CENTER (TRANSVERSE) AT ALL ENDS.
 - INSTALL 1" x 1" REINFORCING BARS AT 4" ON CENTER (LONGITUDINAL) AND 12" ON CENTER (TRANSVERSE) AT ALL ENDS.

505.02

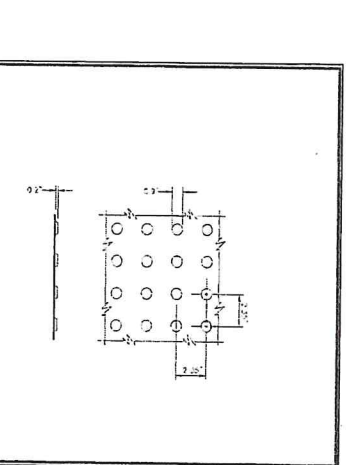
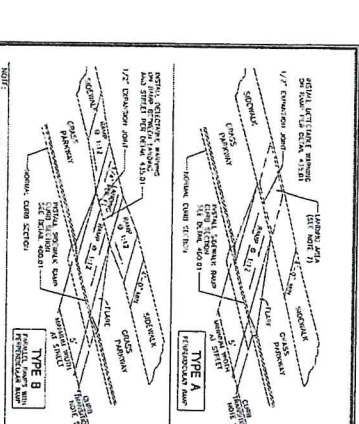


- REQUIREMENTS:**
- CONCRETE SHALL BE CLASS A.
 - 3" MINIMUM THICKNESS FOR ALL CURBS.
 - EXPANDED POLYPROPYLENE FIBER (EPP) SHALL BE USED AT 1% RATIO BY WEIGHT.
 - CONCRETE SHALL BE CURED FOR 7 DAYS.
 - INSTALL 1" x 1" REINFORCING BARS AT 4" ON CENTER (LONGITUDINAL) AND 12" ON CENTER (TRANSVERSE) AT ALL CORNERS AND ENDS.
 - INSTALL 1" x 1" REINFORCING BARS AT 4" ON CENTER (LONGITUDINAL) AND 12" ON CENTER (TRANSVERSE) AT ALL ENDS.
 - INSTALL 1" x 1" REINFORCING BARS AT 4" ON CENTER (LONGITUDINAL) AND 12" ON CENTER (TRANSVERSE) AT ALL ENDS.
 - INSTALL 1" x 1" REINFORCING BARS AT 4" ON CENTER (LONGITUDINAL) AND 12" ON CENTER (TRANSVERSE) AT ALL ENDS.
 - INSTALL 1" x 1" REINFORCING BARS AT 4" ON CENTER (LONGITUDINAL) AND 12" ON CENTER (TRANSVERSE) AT ALL ENDS.
 - INSTALL 1" x 1" REINFORCING BARS AT 4" ON CENTER (LONGITUDINAL) AND 12" ON CENTER (TRANSVERSE) AT ALL ENDS.

400.03



410.03



431.01

435.01

EAST ASHLAND PLAZA - LOT 4
DIESEL PUMPS
ASHLAND, BOONE COUNTY, MISSOURI

DESIGNED: TDC
 DRAWN: INC
 PROJECT NO: 80209
 SHEET: CE7

OWNER: GREYSTONE CAPITAL GROUP
 300 CAMPUS VIEW SUITE 600
 COLUMBIA, MISSOURI 65202

PREPARED BY: **CROCKETT ENGINEERING CONSULTANTS**
 1000 South Main Street
 Columbia, Missouri 65202
 www.crocketting.com
 Crockett Engineering Consultants, LLC
 Missouri Registered Professional Engineers
 License No. 000000178

DATE: 03/09/2024
 TIME: 10:58 AM
 PROJECT NO: 80209
 SHEET: CE7